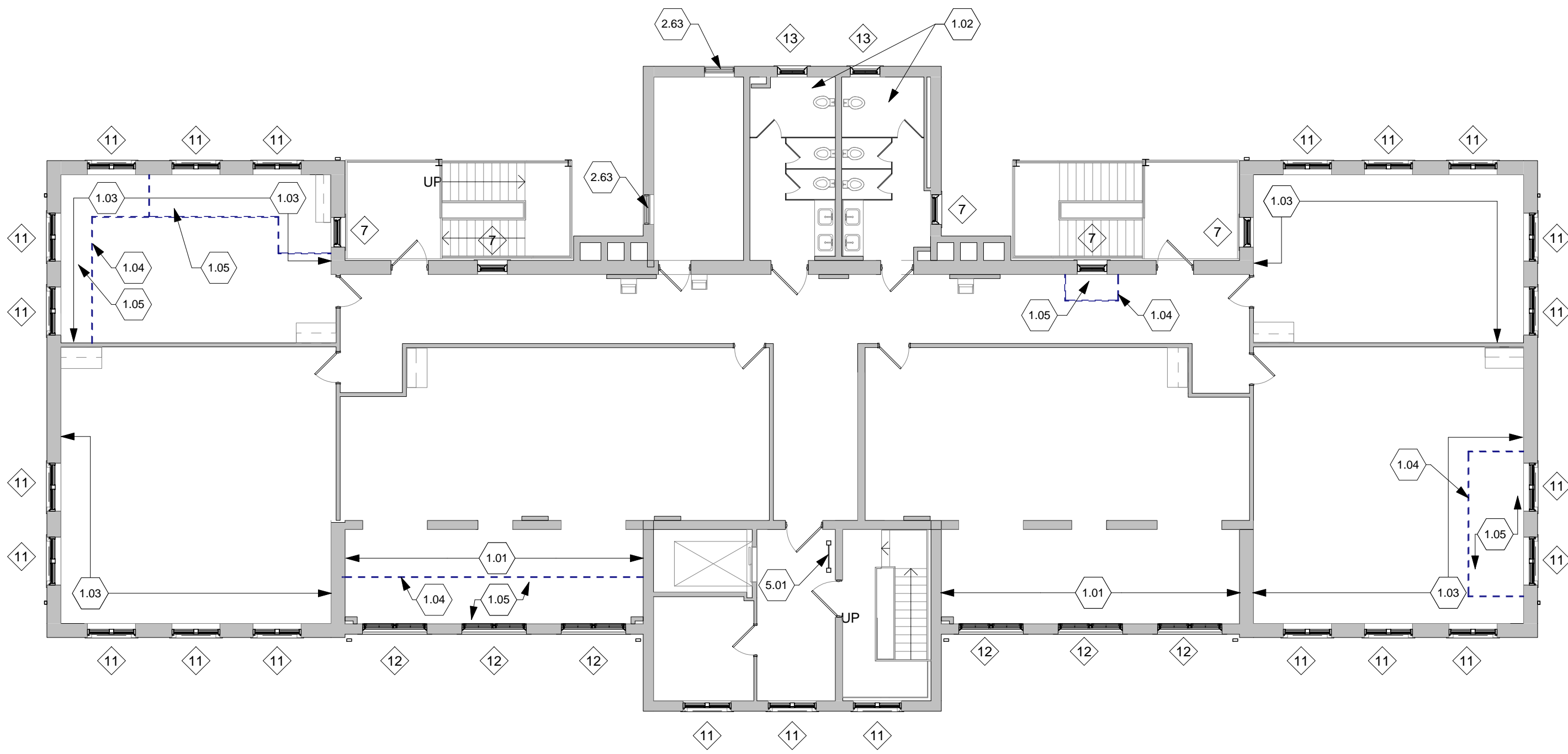


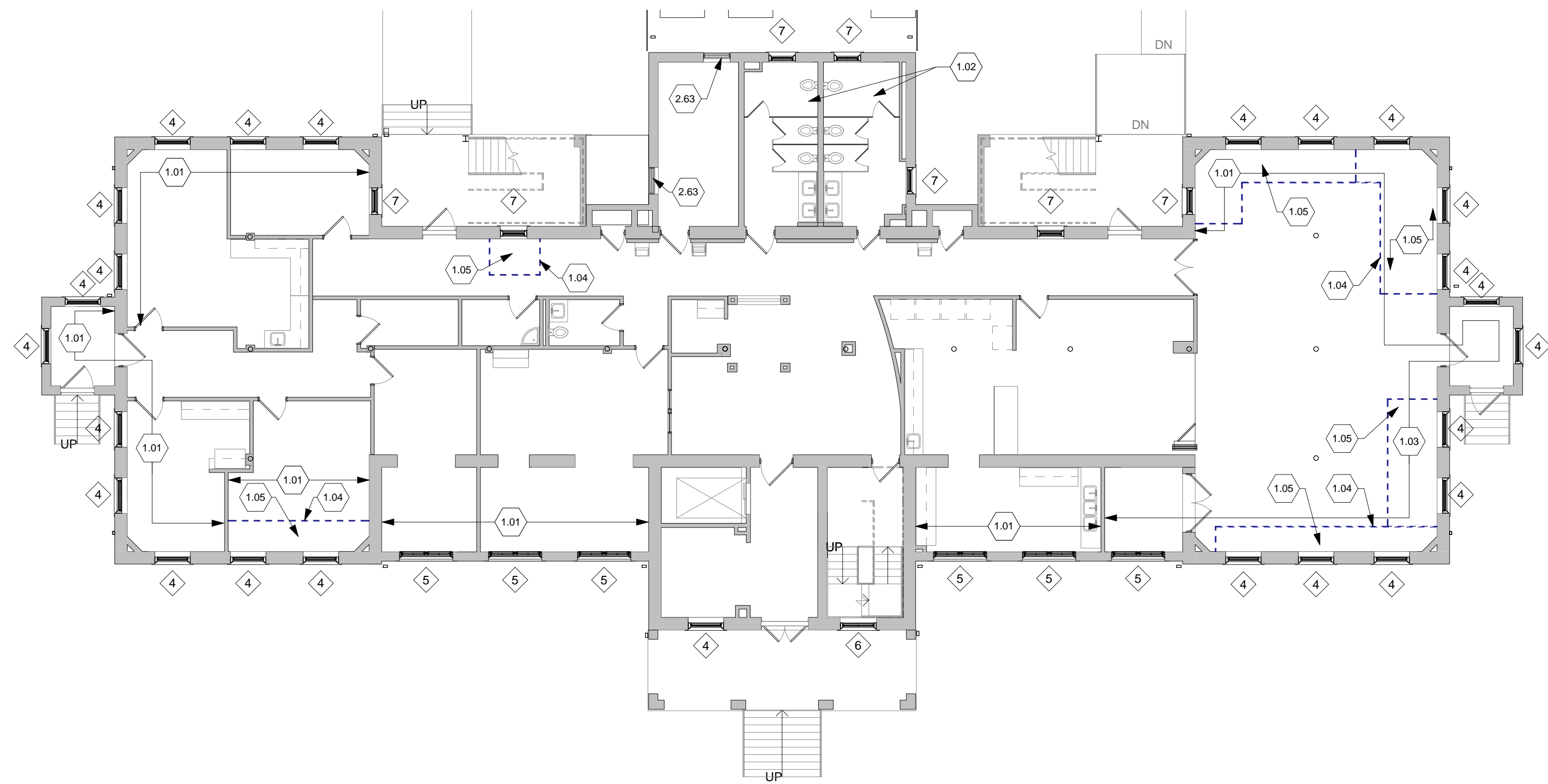
one-eighth inch = one foot



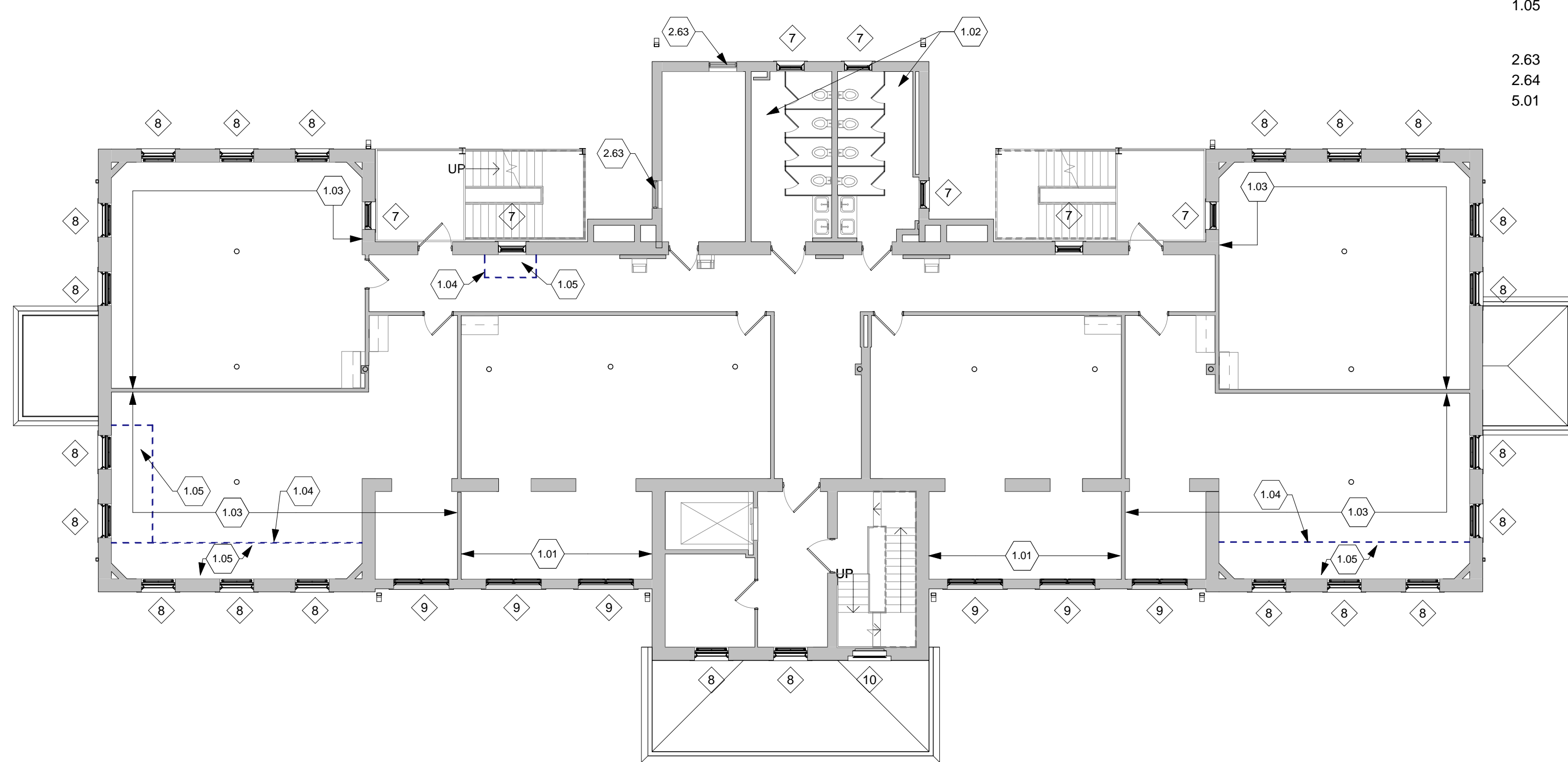
three inches = one foot  
one and one-half inches = one foot  
one inch = one foot  
three-quarters inch = one  
one-half inch = one foot  
three-eighths inch = one foot  
one-quarter inch = one foot  
one-eighth inch = one foot



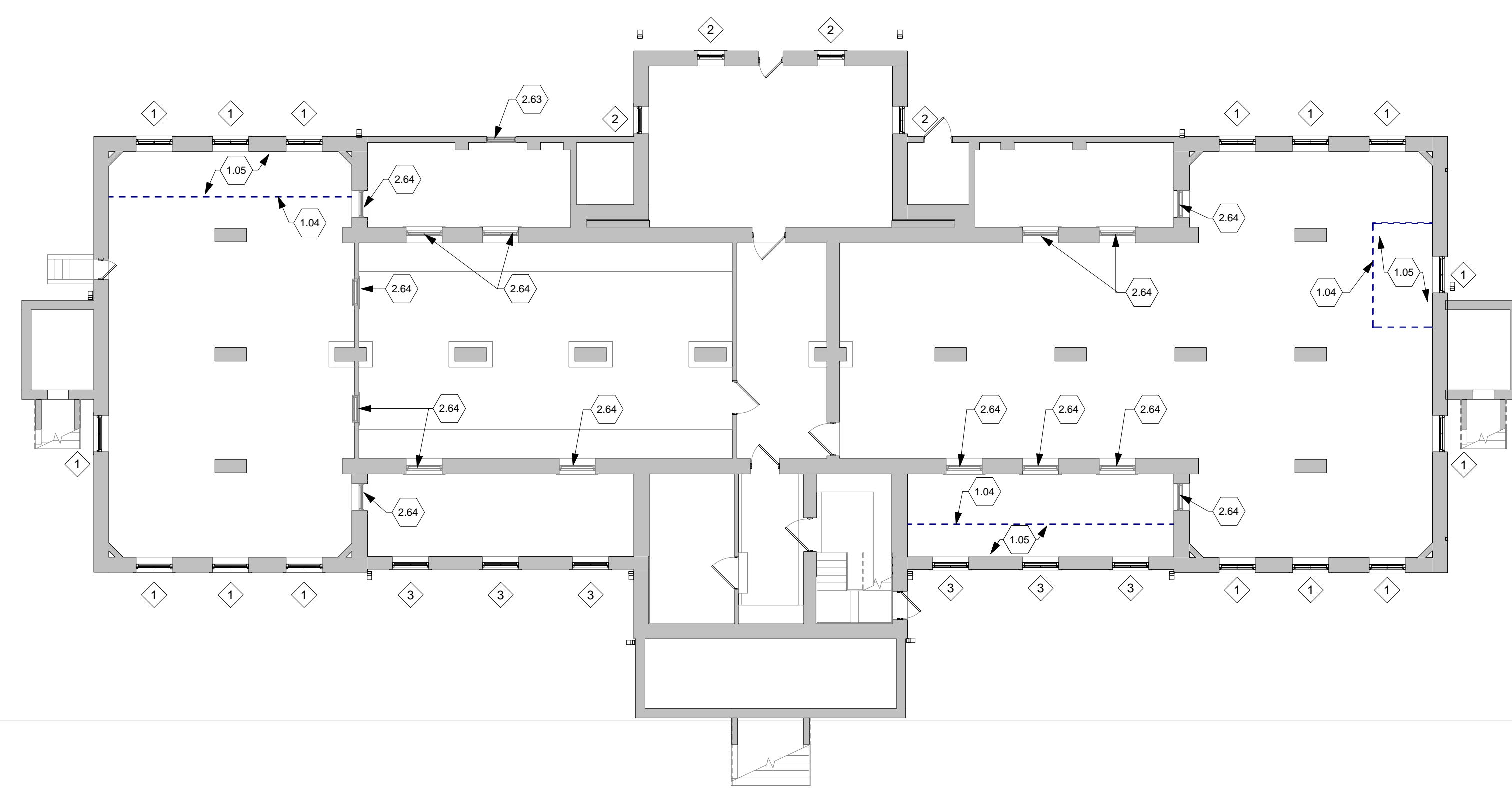
4 THIRD FLOOR PLAN  
Scale: 3/32" = 1'-0"



2 FIRST FLOOR PLAN  
Scale: 3/32" = 1'-0"



3 SECOND FLOOR PLAN  
Scale: 3/32" = 1'-0"



1 BASEMENT FLOOR PLAN  
Scale: 3/32" = 1'-0"

- GENERAL NOTES**
- A. Windows not marked with a key note can be replaced at the contractor's discretion.
  - B. Verify all conditions in the field prior to fabrication, erection and construction.
  - C. All asbestos containing material (ACM) must be abated per the project specification section 02 82 13.21 and local state and federal regulations. Abatement is to be scheduled in appropriate sequence with demolition, new construction and project phasing.
  - D. Existing wood windows and wood brick mold located beneath existing aluminum replacement windows to be removed contain lead based paint (LBP). Demolition of windows to shall be completed in accordance with requirements outlined in Section 01 74 19.
  - E. Dust barriers shown in rooms are typical examples only. Provide barrier at all rooms where windows are being removed. Dust barrier configuration as designed by lead safe renovator contractor.
  - F. Coordinate sequence of work with the C.O.R. to maintain daily operations of building occupants.
  - G. Coordinate location of job dumpster with the C.O.R.
  - H. Coordinate access to all phases of construction, deliveries, and debris removal with the C.O.R. See General Requirements.

- KEY NOTES**
- 1.01 Windows in this space to be completed in one day.
  - 1.02 One restroom per floor to remain open to public at all times.
  - 1.03 Windows in this space to be completed in 2-3 consecutive days.
  - 1.04 Dust barrier in accordance with Section 02 41 00 DEMOLITION, Paragraph 1.3 / H, describing lead-based paint disturbance requirements. Size and design by lead-safe renovator contractor.
  - 1.05 Window replacement work area. Area to be cleaned and cleared in accordance with Section 02 41 00 DEMOLITION, Paragraph 1.3 / H, describing lead-based paint disturbance requirements.
  - 2.63 Existing lower to remain.
  - 2.64 Existing window to remain.
  - 5.01 Roof access ladder. Contractor to provide and install two structural steel clip angles at top of ladder where ladder is loose. Anchor solidly into existing masonry and weld to existing ladder rails.

**WINDOW SYMBOL**  
X WINDOW OPENING - See sheet 401A601 for Window Elevations.

Revisions	Date	CONSULTANTS:		ARCHITECT/ENGINEERS:  JOHN POE ARCHITECTS  116 EAST THIRD STREET DAYTON, OHIO 45402-2130  937 461 3290 PHONE 937 461 0260 FAX jpa@johnpoe.com	Drawing Title  FLOOR PLANS  Approved: Project Director	Project Title Replace Roof and Windows (B401)  Location Dayton, Ohio  Date 3/11/2014	Project No. VA Project No. 552-15-208 JPA Project No. 13005.00 Building Number 401 Drawing Number 401A100 Dwg. of	Office of Construction and Facilities Management  Department of Veterans Affairs

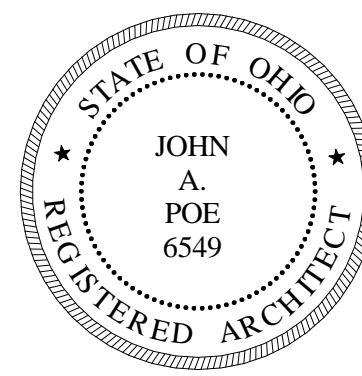




## ROOF PLAN

Scale: 1/8" = 1'-0"

CONSULTANTS:



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Drawing Title
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ROOF PLAN

Project Title
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## Replace Roof and Windows (B401)

Dayton, Ohio

Date \_\_\_\_\_

Project No.	
VA Project No.	552-15-208
IPA Project No.	13005.00

Building Number

401

Drawing Number

401A101

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Construction  
and Facilities  
Management

 Department of  
Veterans Affairs





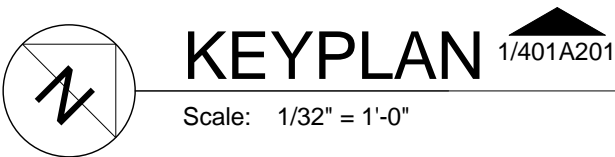
A.	Verify all conditions prior to fabrication, erection, and installation.
B.	Completely remove all sealant from window openings at exterior end.
C.	Clean existing brick veneer to leave new condition.
D.	Clean windows not shown for drawing clarity. See Site Plan for equipment locations and limits to access.
E.	Coordinate with C.O.R. the relocate of furniture and equipment within rooms, prior to window installation to gain clear access to interior side of existing window.
F.	All windows are to be single - hung units, unless noted otherwise.
G.	Clean, repair and paint original steel lintels to appear like new.
H.	Contractor shall coordinate the relocation of children on a per room basis with the C.O.R. prior to beginning work.
I.	Existing stone sill, soldier course, and brick arch to remain. Protect in place.
J.	Remove existing aluminum window system, wood brick mold and wood protest sashes at all openings indicated to receive new window. Remove in accordance with requirements of the 2018 International Building Code, paragraph 1301. See typical details 1,2,3 & 4 on sheet 001A602.

2.63	Existing lounge to remain.
2.64	Existing window to remain.
2.69	Line of ceiling beyond.
2.72	New copper coping. See Detail 1 on Sheet 401A501.
2.77	New built-in copper gutter and copper leader to tie into existing down spouting to remain. Rivet and solder all joints except down union joints. Line existing built-in gutter trough with rosin paper over self adhesive polyethylene faced underlayment prior to installing copper gutter. Slope bottom of gutter to drain. See Details 6, 8 and 9 on Sheet 401A501.
2.79	New copper chimney cap.
2.81	New 15" dimensional asphalt shingle roof. See Roof Plan Sheet 401A101.
2.83	3" x 5" copper gutter and downspout. Extend downspout to lower gutter.
2.84	Obscure glass this window.
2.88	Existing thru wall scupper opening in wall. Remove existing flashing and install new copper thru wall scupper per SMACNA figures 1-25F and 1-26 and roofing membrane manufacturer's recommended thru wall scupper detail. See Detail 3 on Sheet 401A501.
2.92	Remove existing leader head and install new copper leader head and connect to existing downspout to remain. See Detail 3 on Sheet 401A501.



4 WEST  
Scale: 1/8" = 1'-0"

 WINDOW OPENING - See sheet 401A601 for Window Elevations



Scale: 1/32" = 1'-0"

CONSULTANTS:	



Drawing Title

**EXTERIOR ELEVATIONS**

Approved: Project Director

Project Title			
Replace Roof and Windows (B401)			
Location			
Dayton, Ohio			
Date	3/11/2014	Checked TH	Drawn VR

Project No. 552-15-208  
VA Project No. 13005.00  
JPA Project No. 13005.00

Building Number  
401

Drawing Number  
401A202

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Construction  
and Facilities  
Management

 Department of  
Veterans Affairs

2.01 Existing 2x roof framing to remain.

2.02 Existing 1x wood deck to remain.

2.03 Existing masonry to remain.

2.04 Existing 3/4" plywood deck to remain.

2.05 Existing aluminum wrapped wood gutter framing and trim to remain.

2.17 Existing counter flashing to remain. Do not pull away from wall when installing underlayment and step flashing.

6.01 New 2x wood blocking.

6.02 New blocking at 24" o.c. Center blocking on existing wood framing.

6.17 3/4" exterior grade plywood.

7.02 New 'open' copper valley flashing per SMACNA Figure 4-10

7.04 Laminated fiberglass asphalt shingles.

7.05 36" wide self adhesive polyethylene faced underlayment.

7.07 New copper coping.

7.08 1/2" cover board.

7.09 EPDM adhesive.

7.10 New built-in copper gutter to tie into existing downspouting to remain.

7.11 Continuous copper apron flashing / cleat.

7.12 New copper coping. See Detail 1 on Sheet 401A501.

7.13 Continuous copper cleat. Fasten cleat to existing wood with copper nails.

7.14 Line gutter with self adhesive polyethylene faced underlayment.

7.15 New copper downspout leader. Tie into existing downspout below gutter.

7.22 High point of new cricket beyond.

7.24 New copper pan flashing.

7.25 New rosin paper between copper gutter and self adhesive.

7.27 New aluminum gutter and drip edge per SMACNA Figures 1-18C and 4-23D.

7.28 Remove existing sealant and install new along top edge of existing counterflashing.

7.29 4" x 4" copper step flashing at each course of shingles. Extend top edge of flashing 2" past lower edge of single.

7.30 Self adhesive polyethylene faced underlayment. Turn underlayment 4" minimum up face of vertical surfaces.

7.32 New copper fascia.

7.33 Apron flashing per manufacturer's standard details.

7.34 New 60 mil. EPDM roof membrane fully adhered to cover board, mechanically fastened to existing wood deck and new wood saddles.

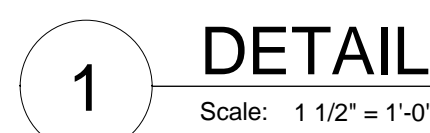
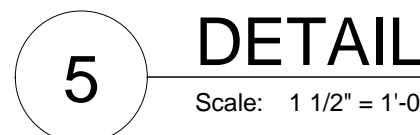
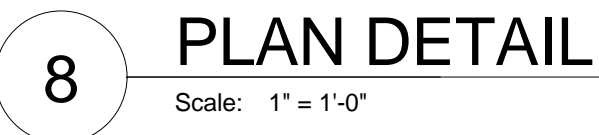
7.35 3" x 5" copper downspout.

7.55 Prefinished [X" x Y"] metal downspout.

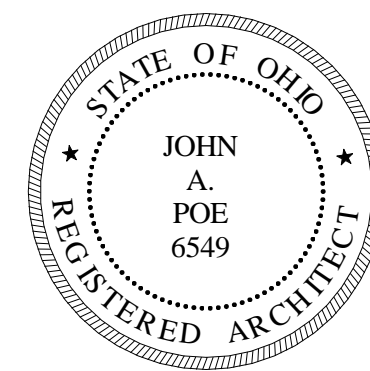
22.02 Remove existing joint head and install new copper leader head and connect to existing downspout to remain. See Detail 3 on Sheet 401A501.

22.06 Existing thru wall scupper opening in wall. Remove existing copper flashing and install new copper thru wall scupper per SMACNA figures 1-25F and 1-26 and roofing membrane manufacturer's recommended thru wall scupper detail.

22.07 New copper leader head.

[illegible]

CONSULTANTS:



ARCHITECT/ENGINEERS:

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	Drawing Title
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## ROOF DETAILS

	Project Title
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Replace Roof and Windows  
(B401)

Location	
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Drawn

Project No.	
VA Project No.	552-15-208
JPA Project No.	13005.00

Building Number  
401

Drawing Number  
**101 A50**

401A501  
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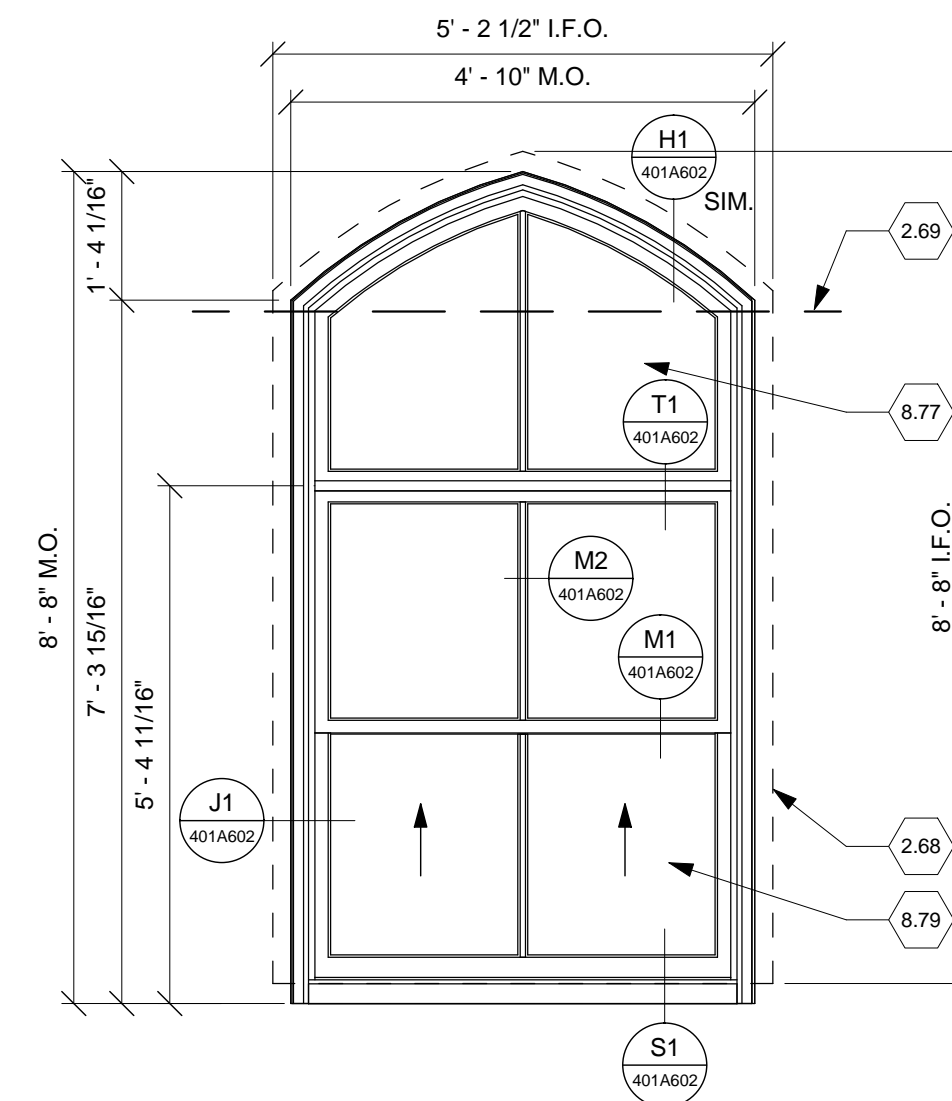
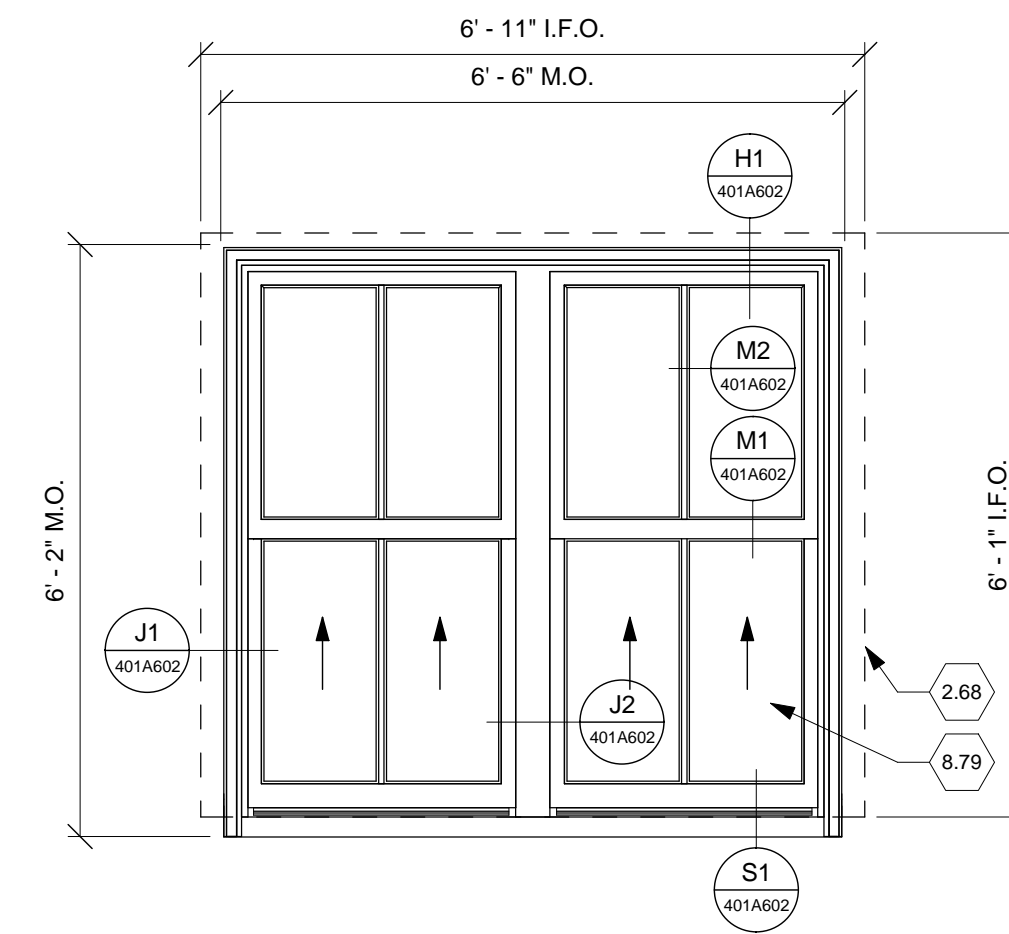
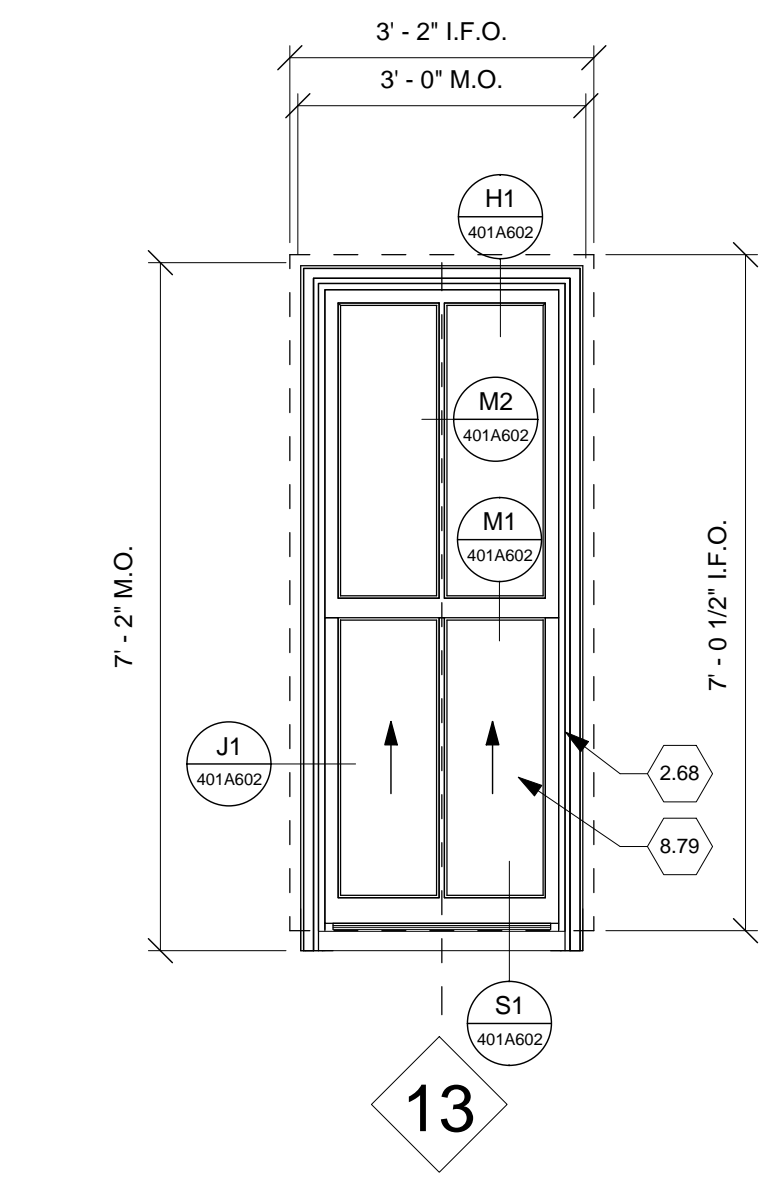
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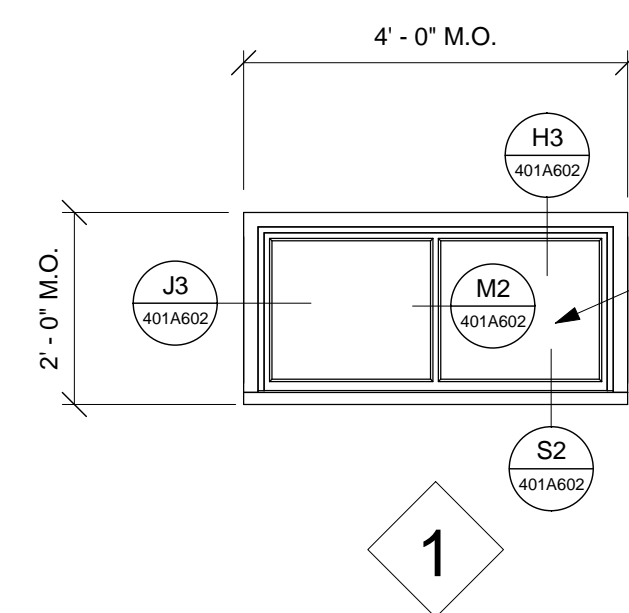
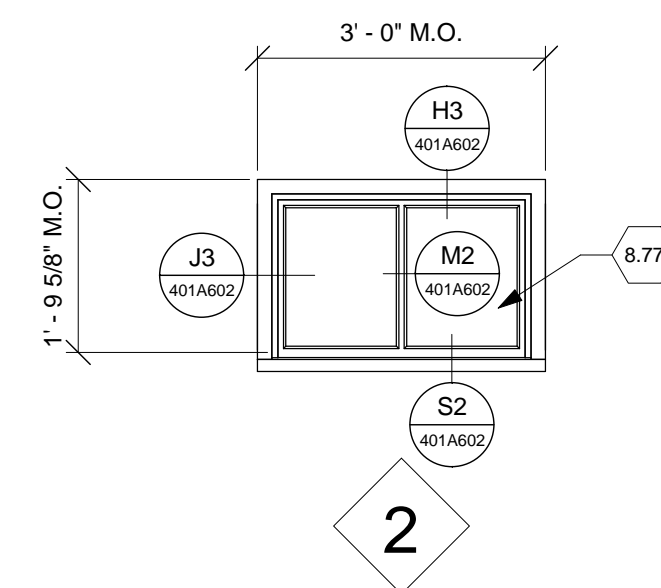
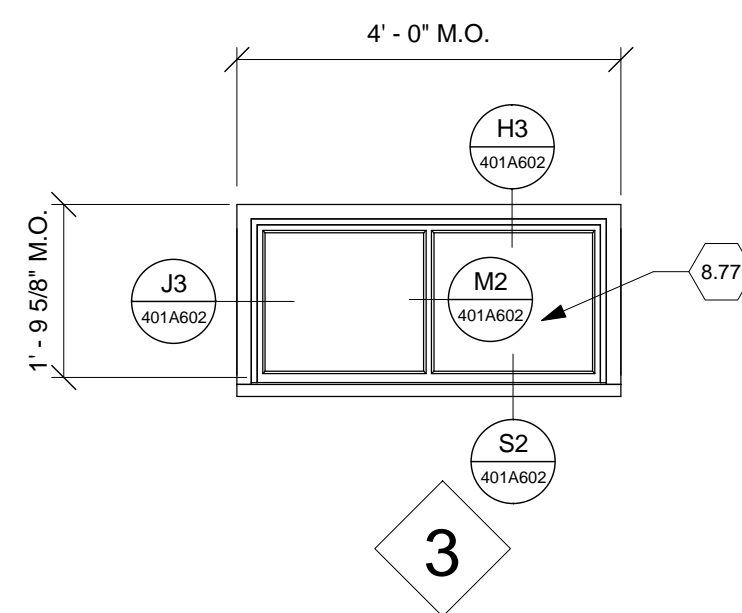
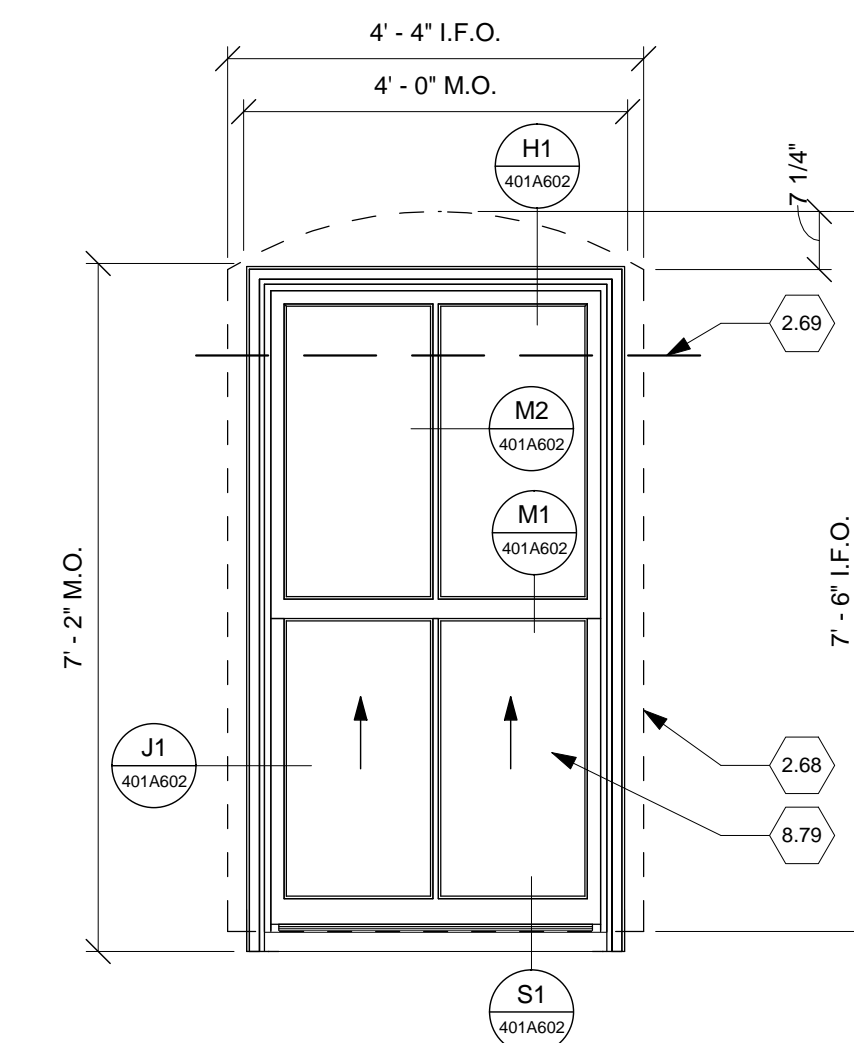
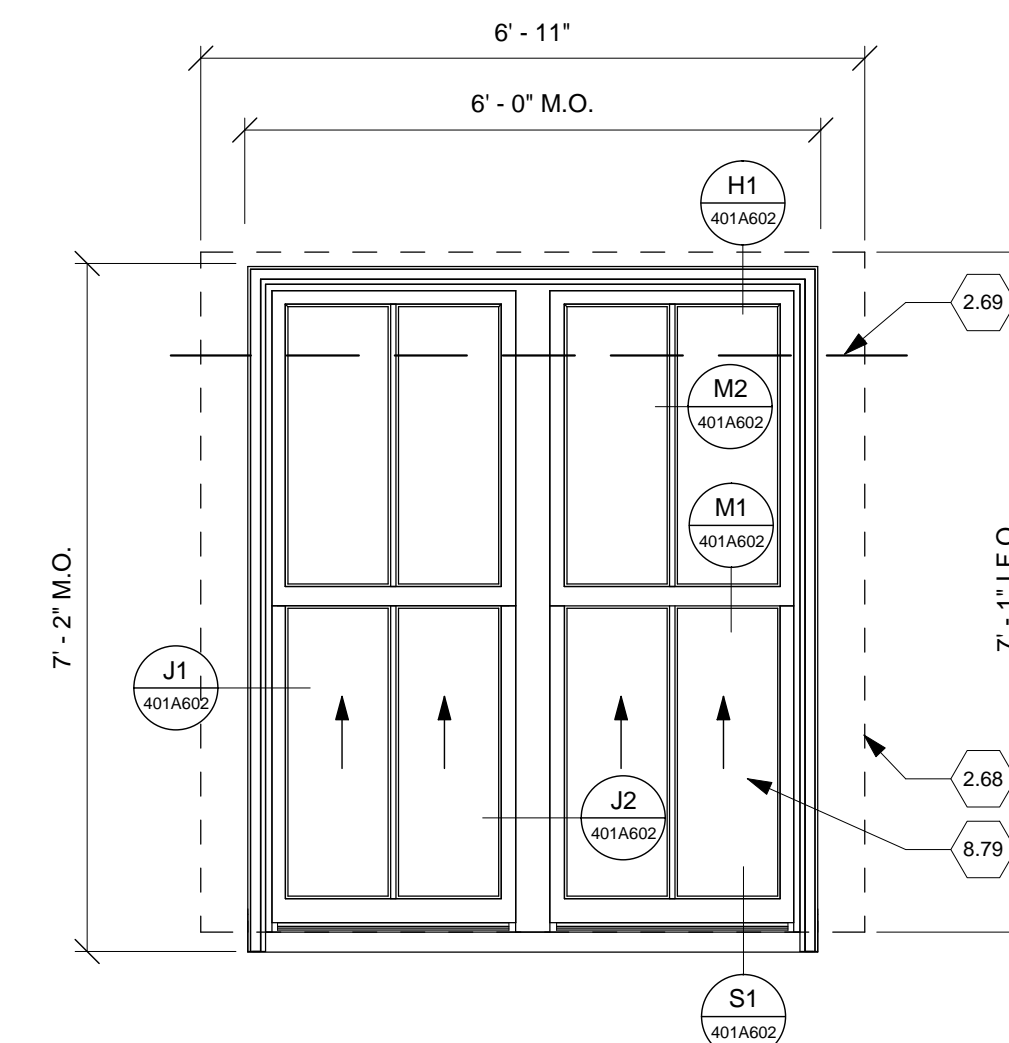
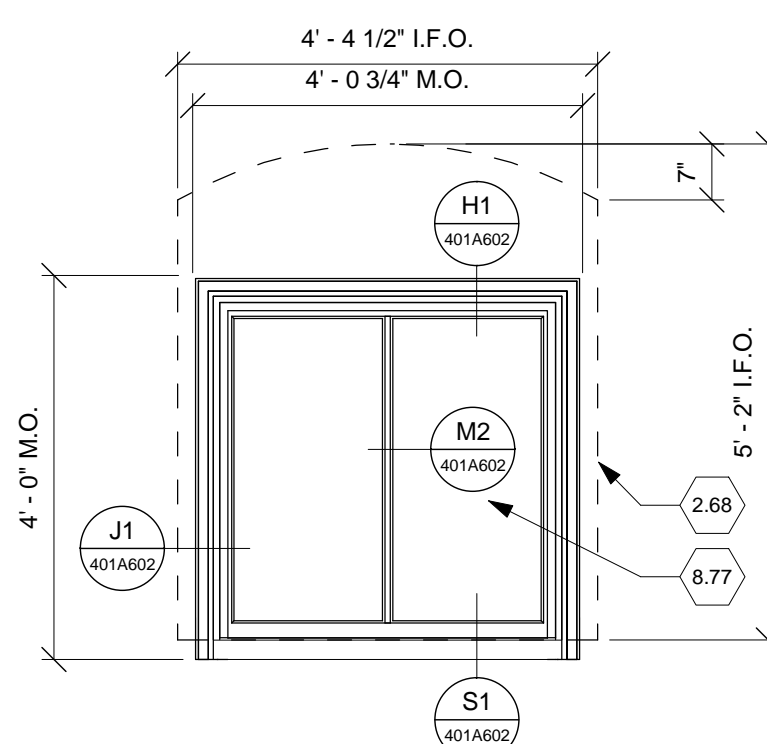
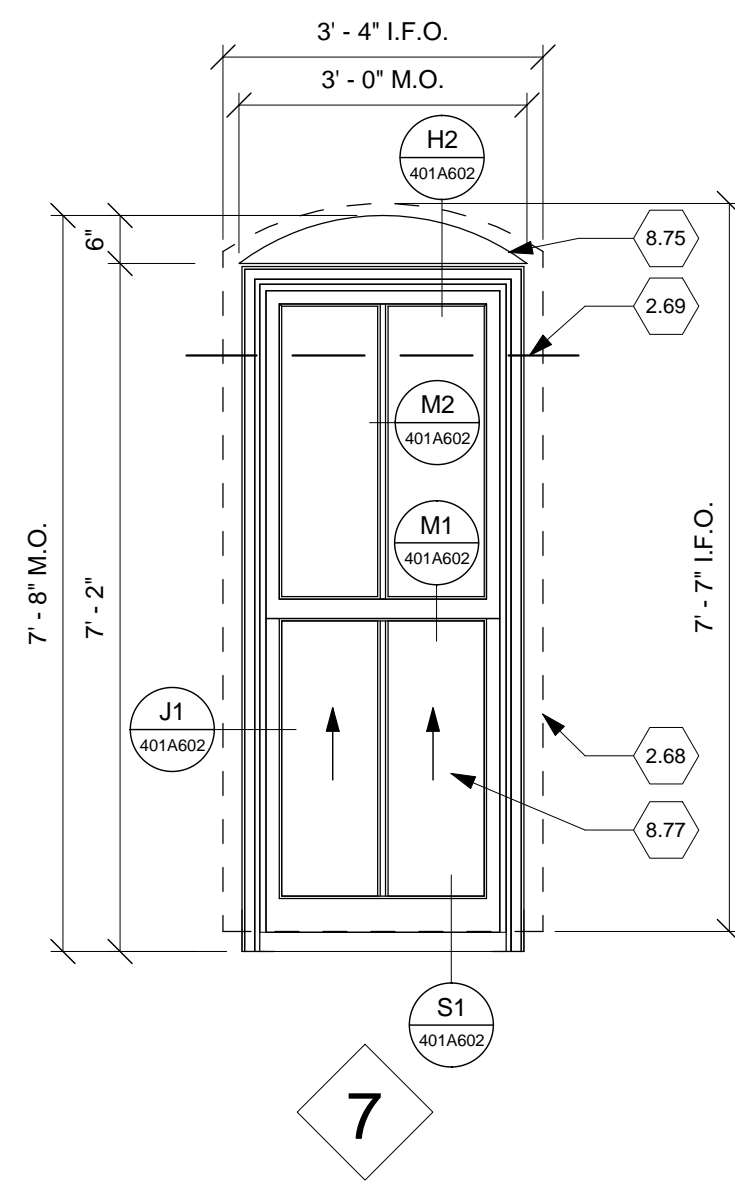
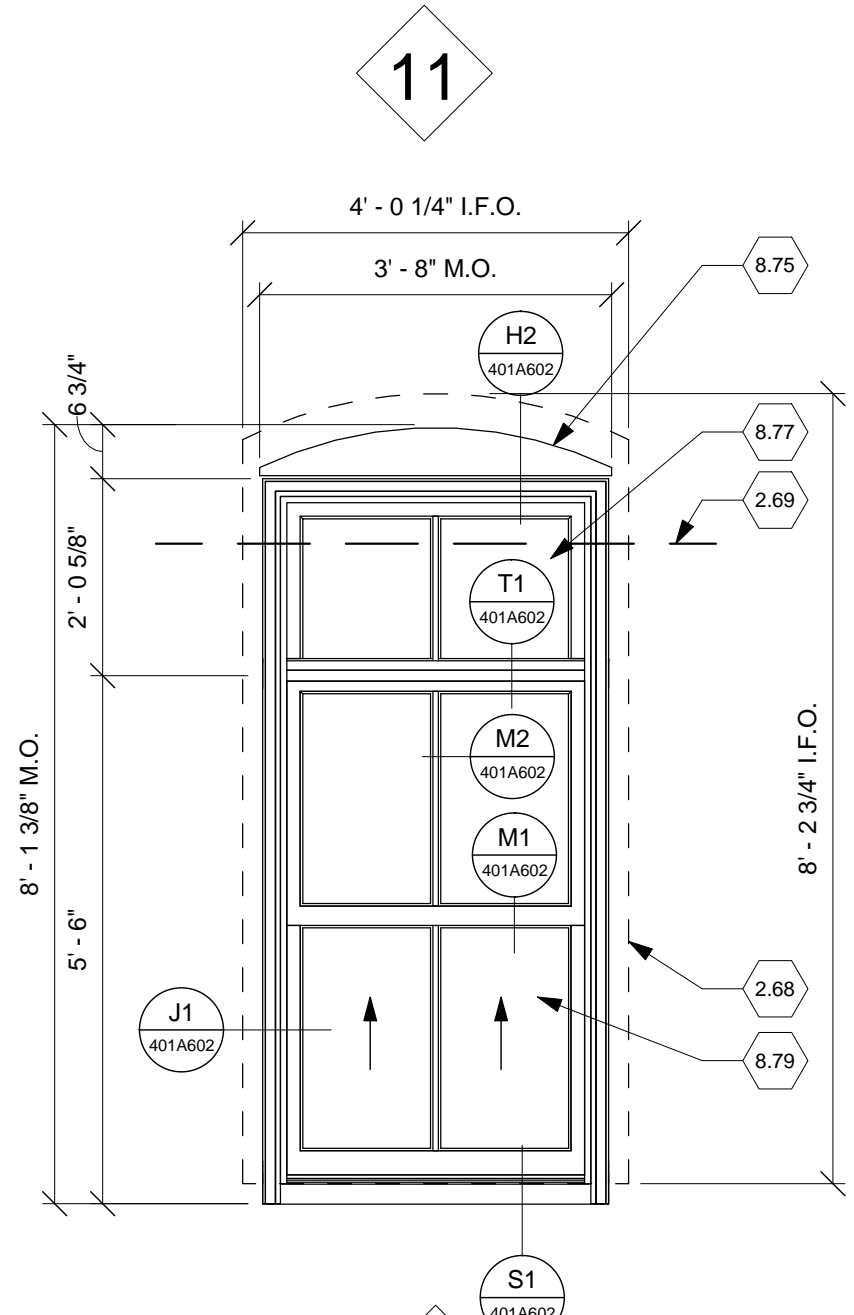
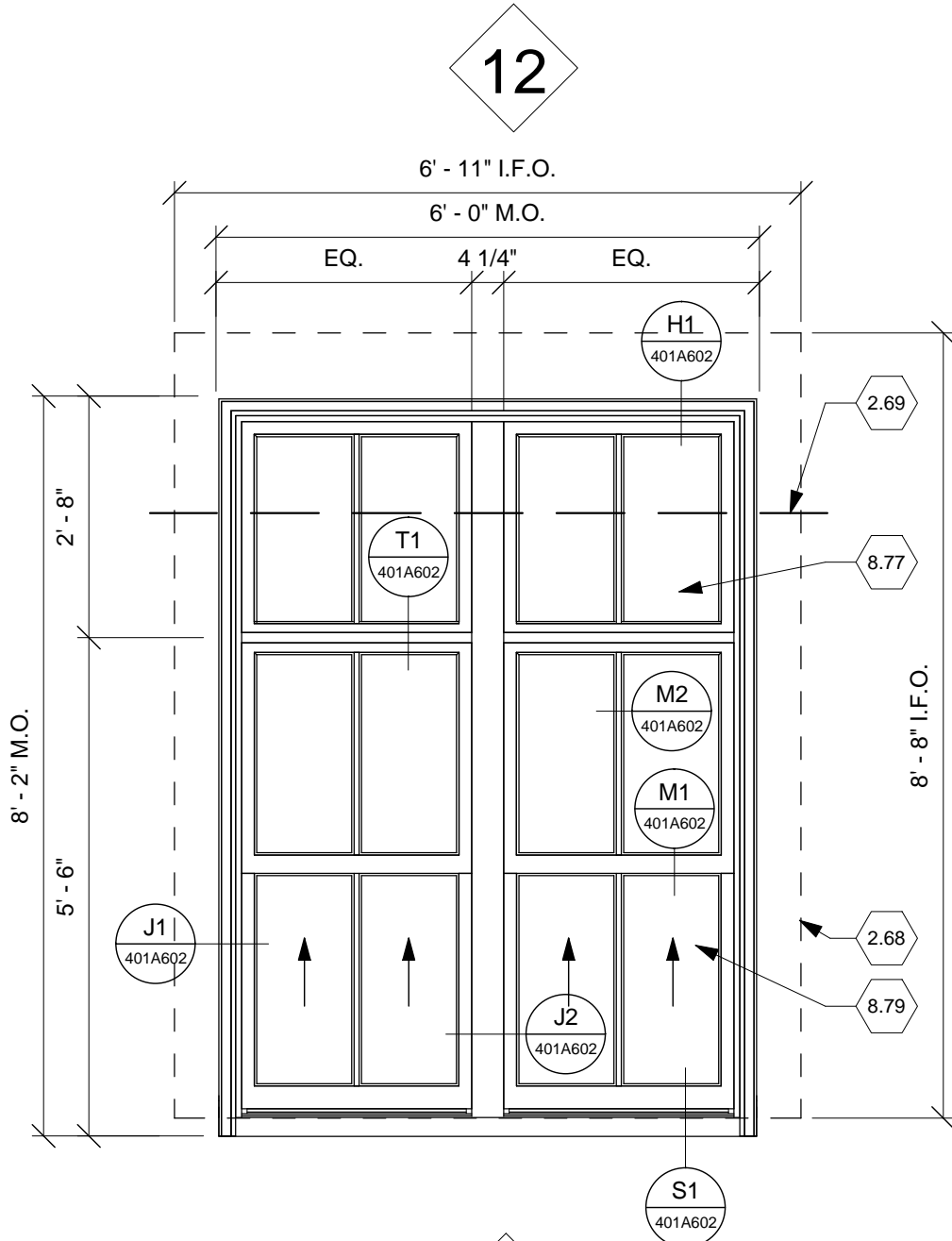
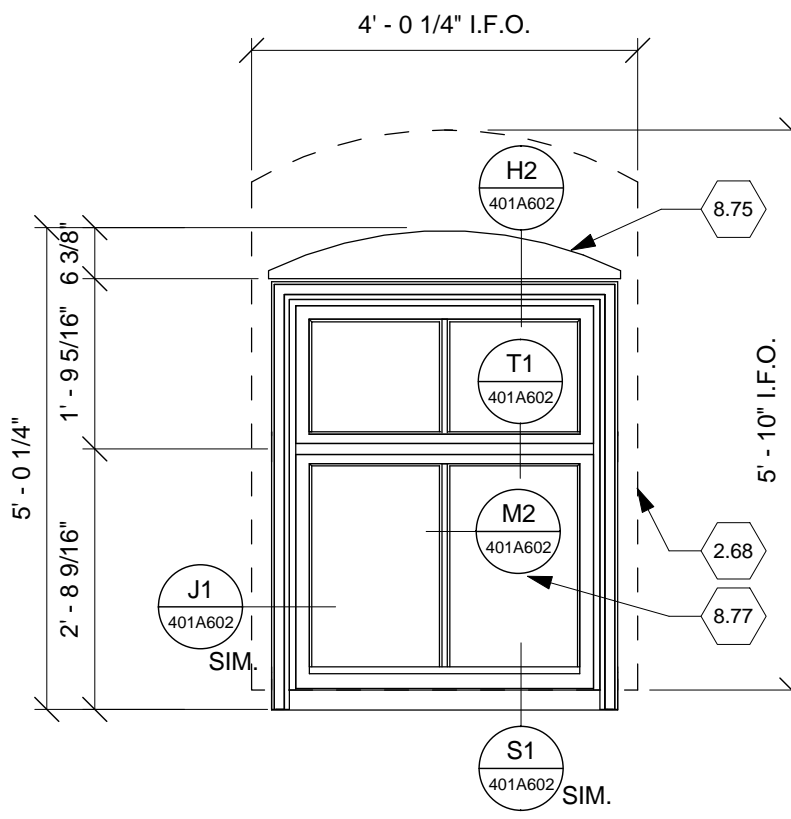
## GENERAL NOTES

A. Field verify all existing dimensions and conditions.

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## ○ DETAIL NOTES

2.68 Line of finish opening beyond.  
2.69 Line of ceiling beyond.  
8.75 Window Manufacturer scribed panning.  
8.77 Single fixed window unit.  
8.79 Single hung window unit.



# Legend

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Active Sash		
Line of finish opening beyond.	—	—
Line of ceiling beyond.	—	—
Masonry Opening	M.O.	
Interior Finish Opening	I.F.O.	

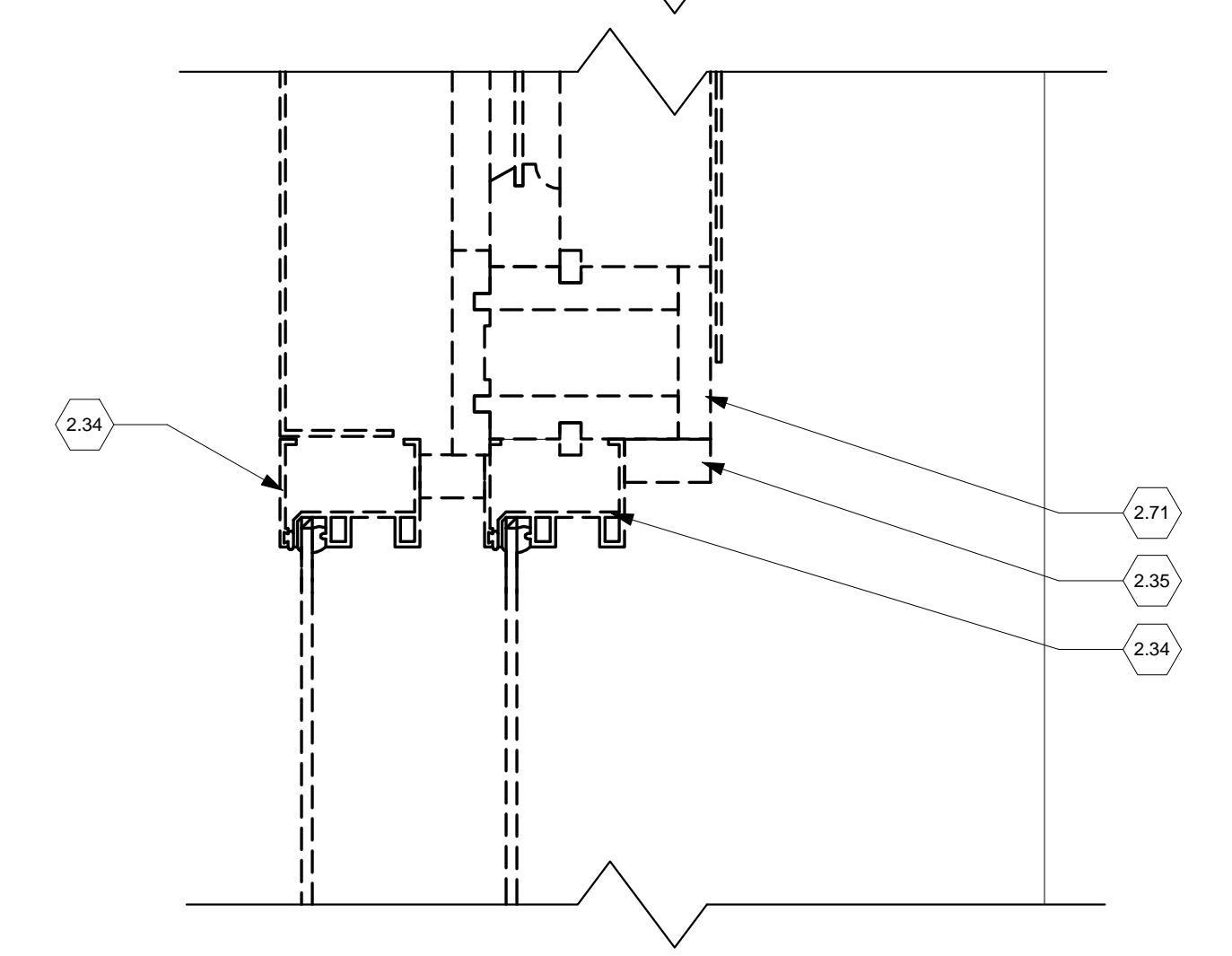
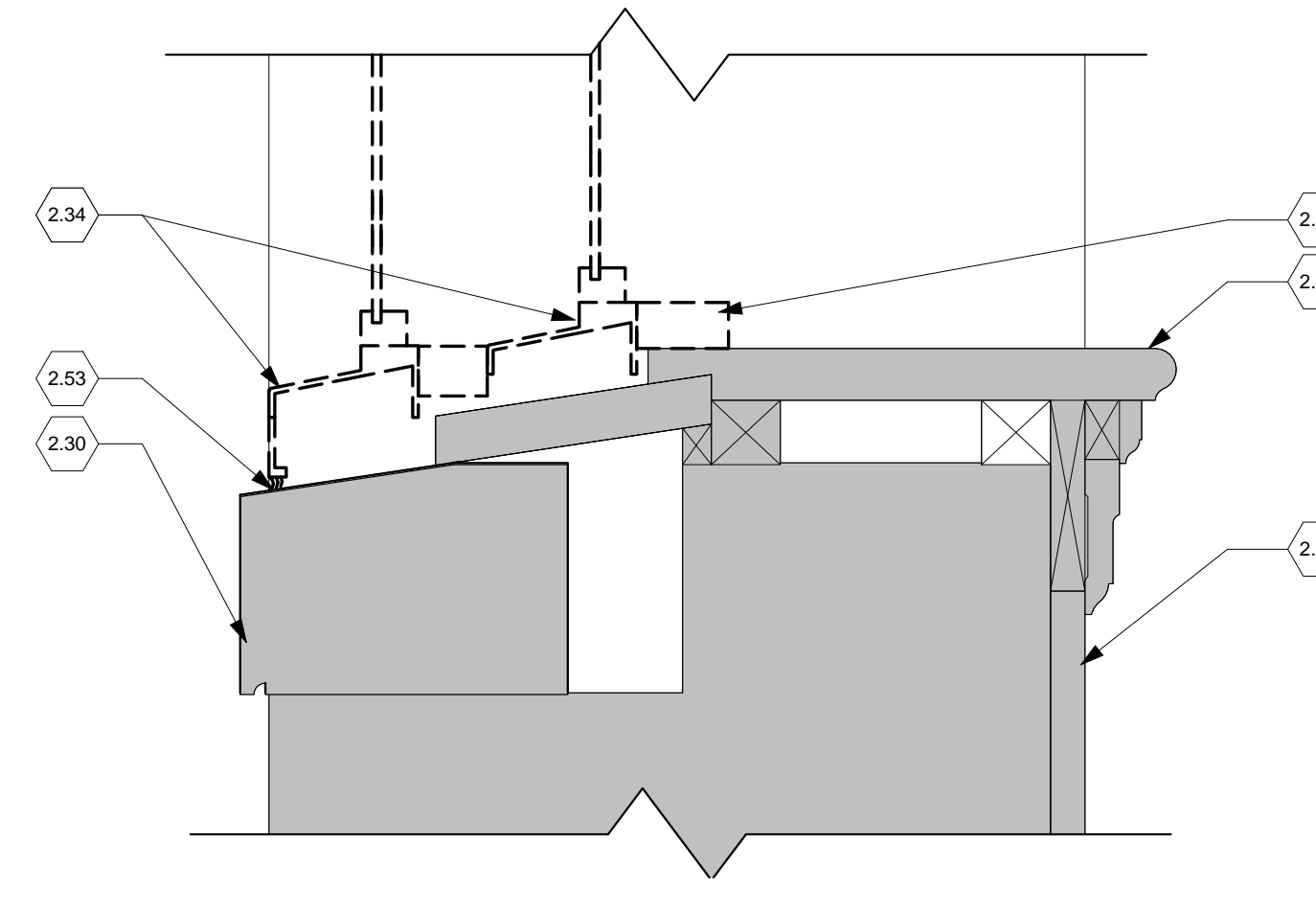
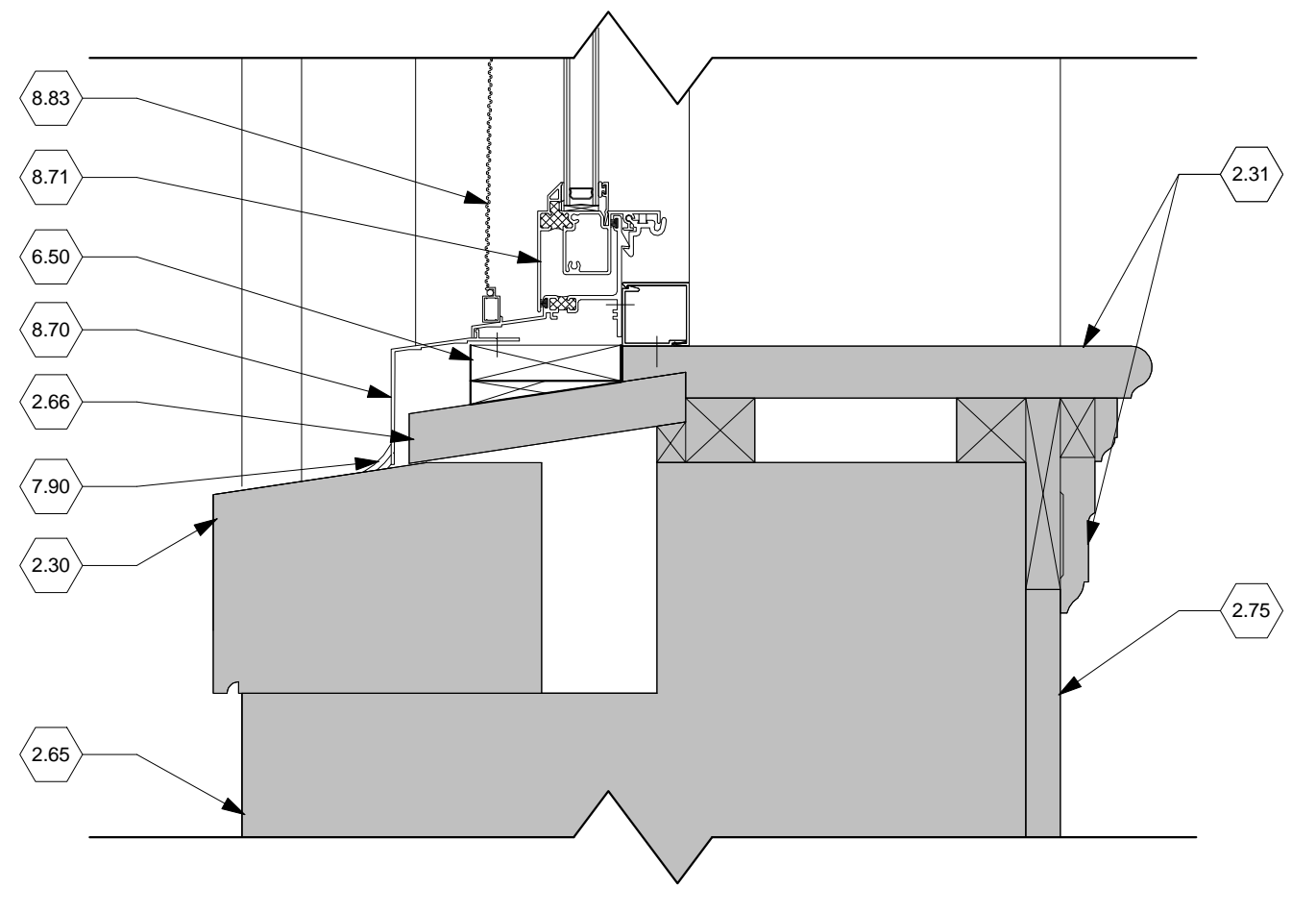
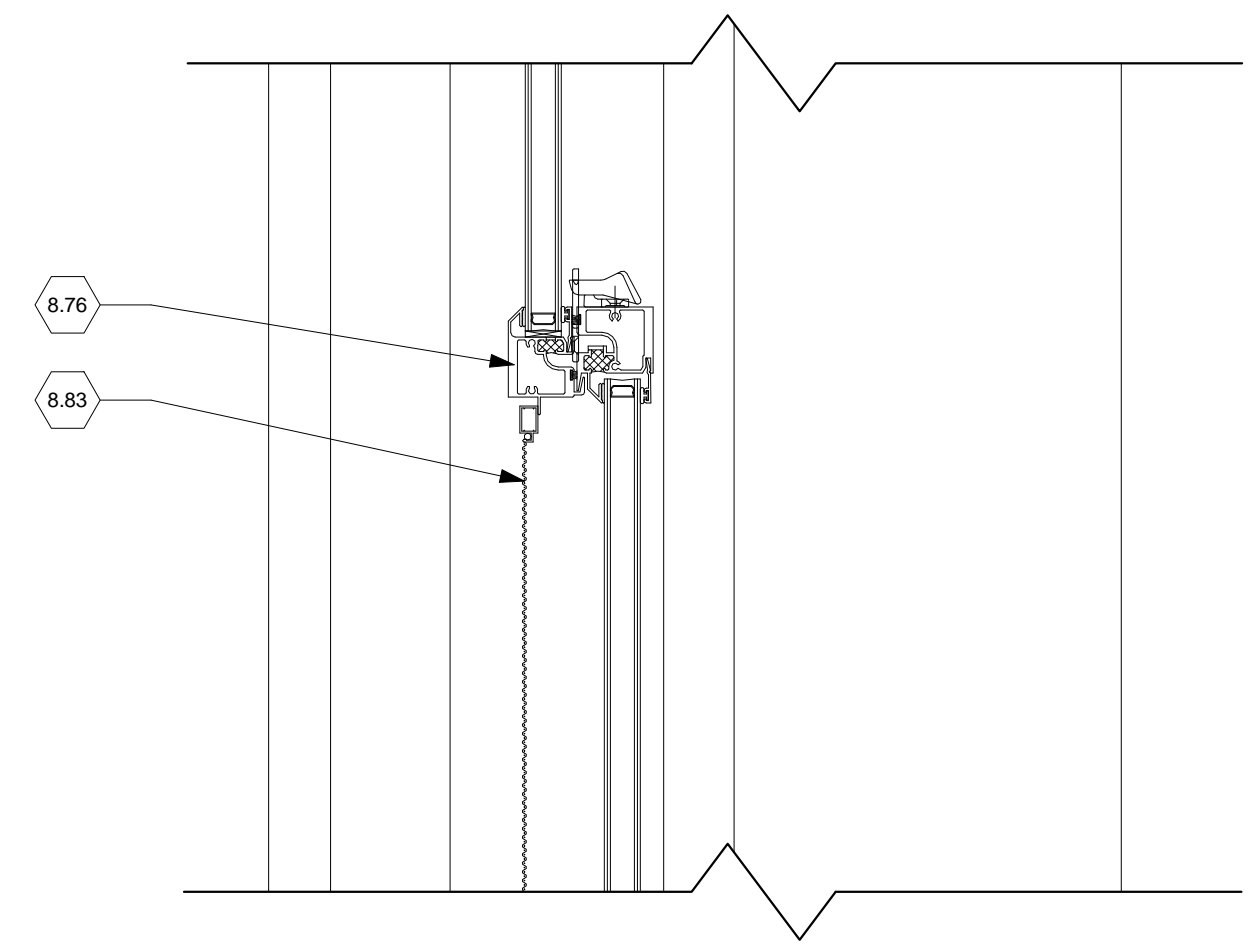
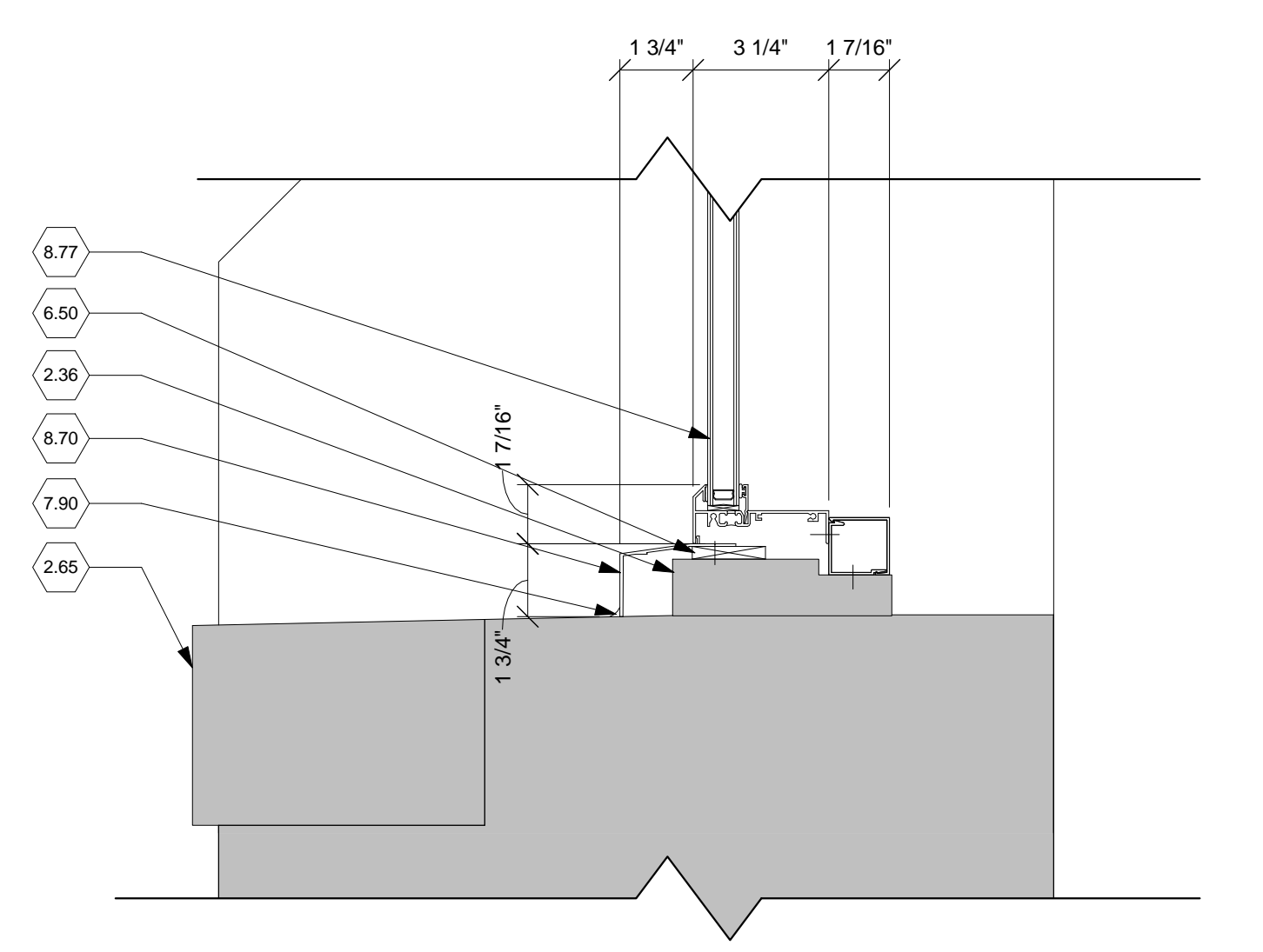
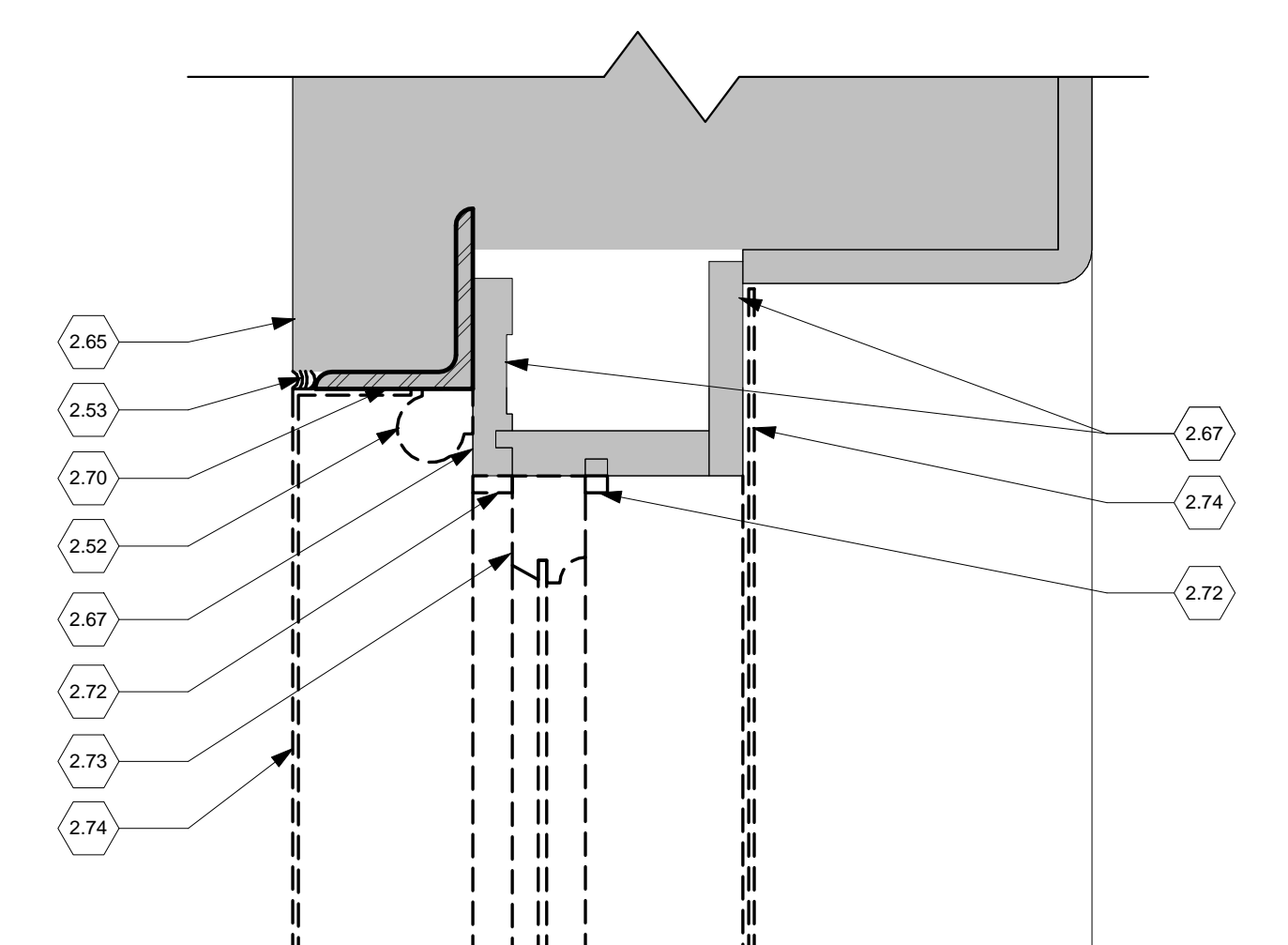
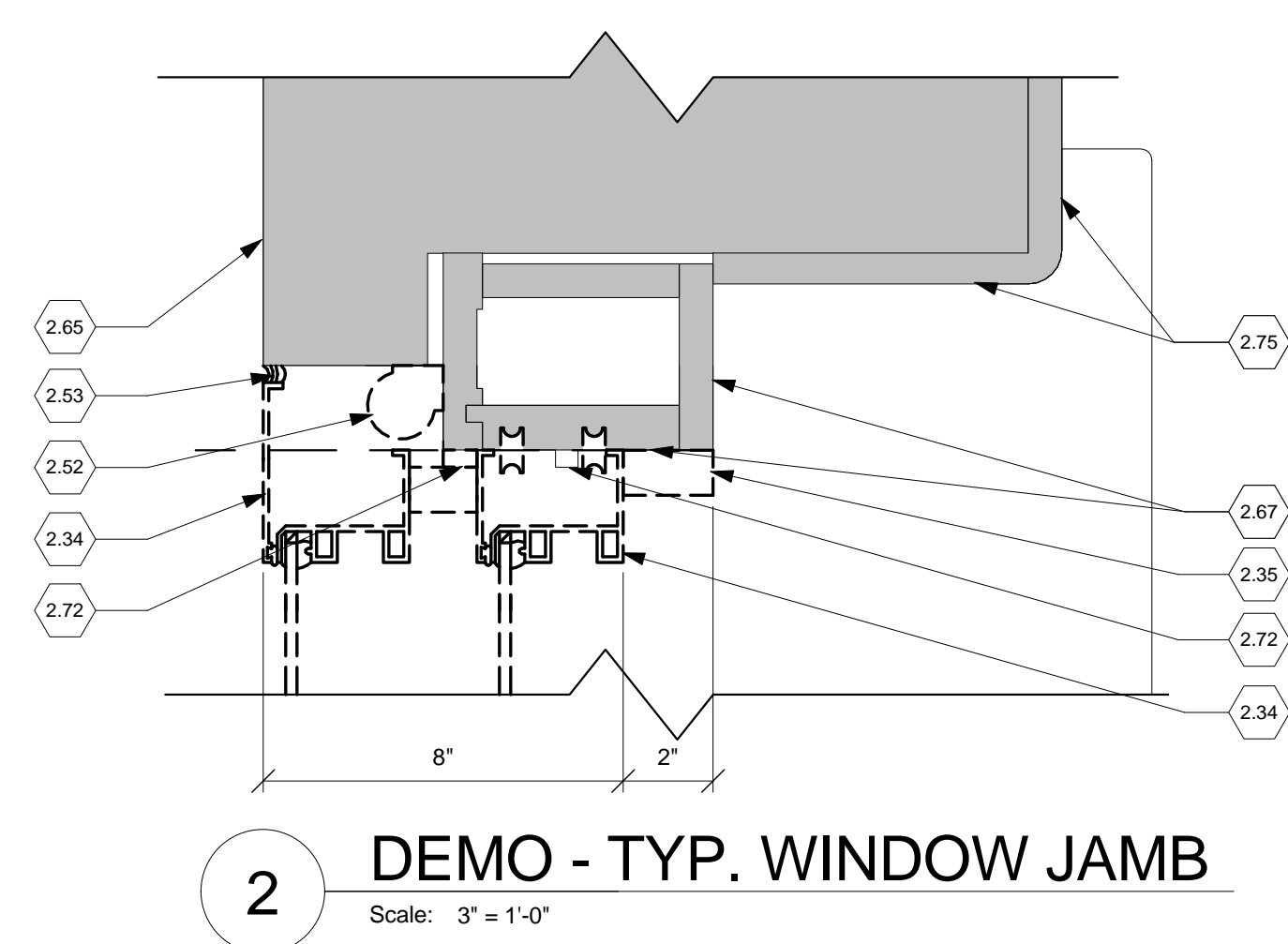
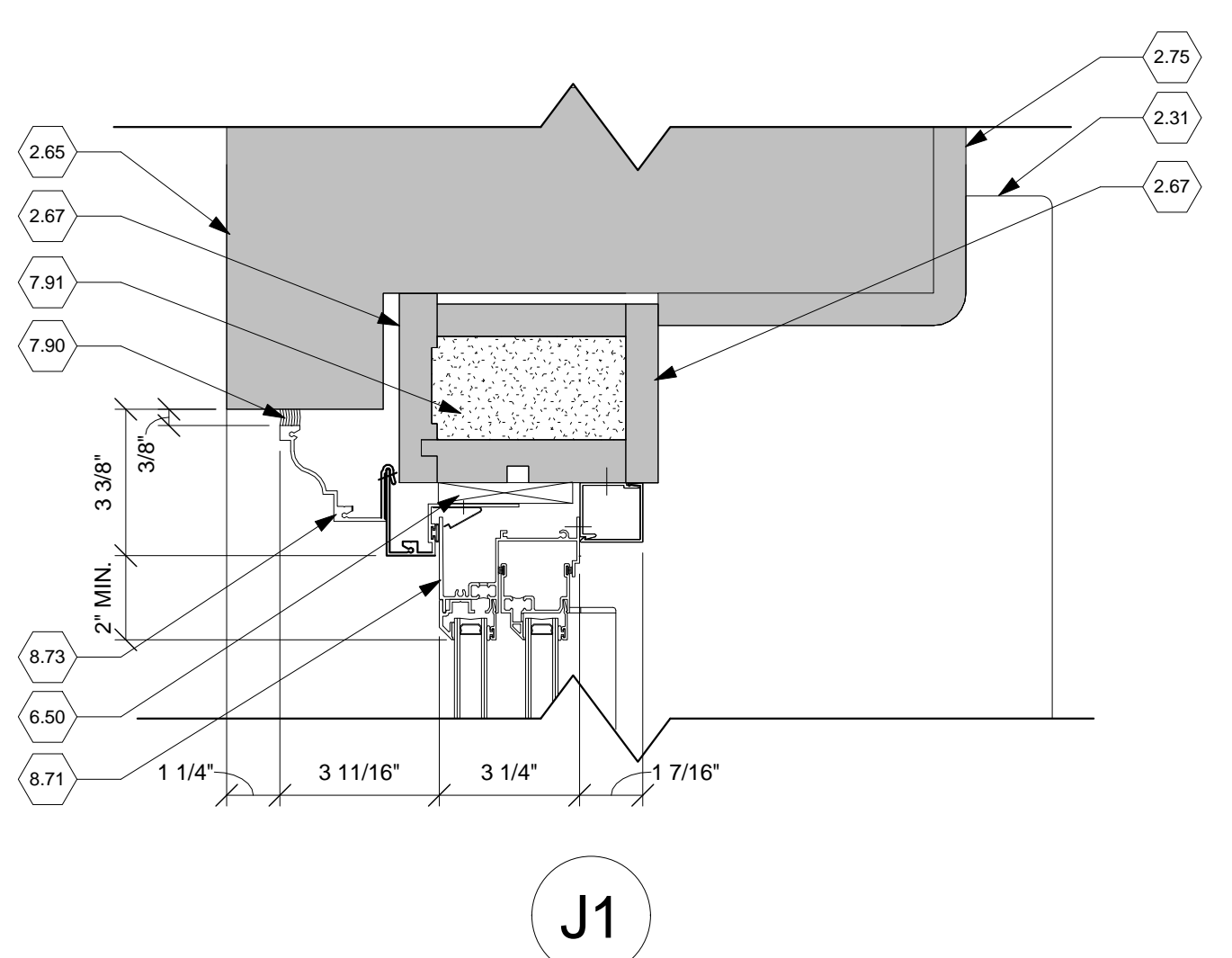
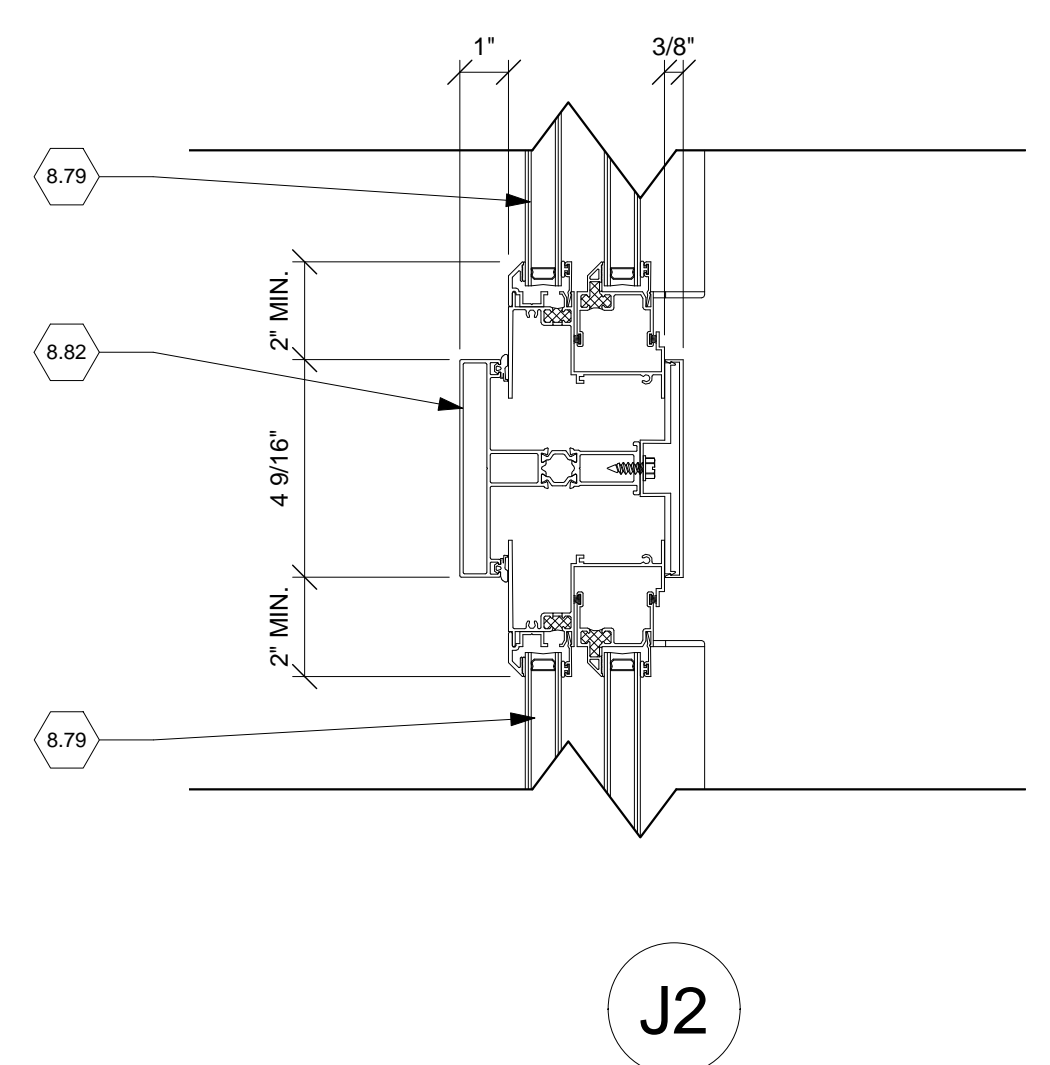
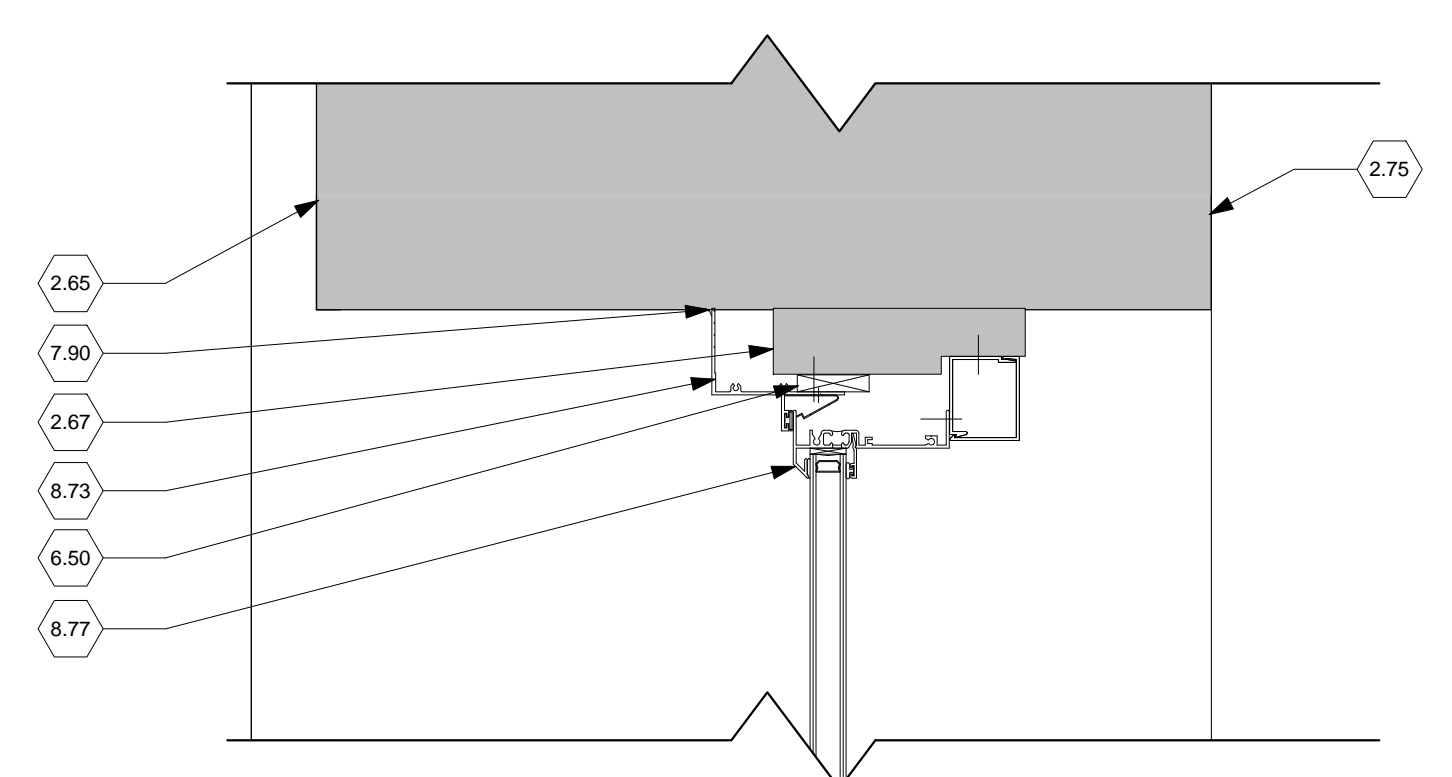
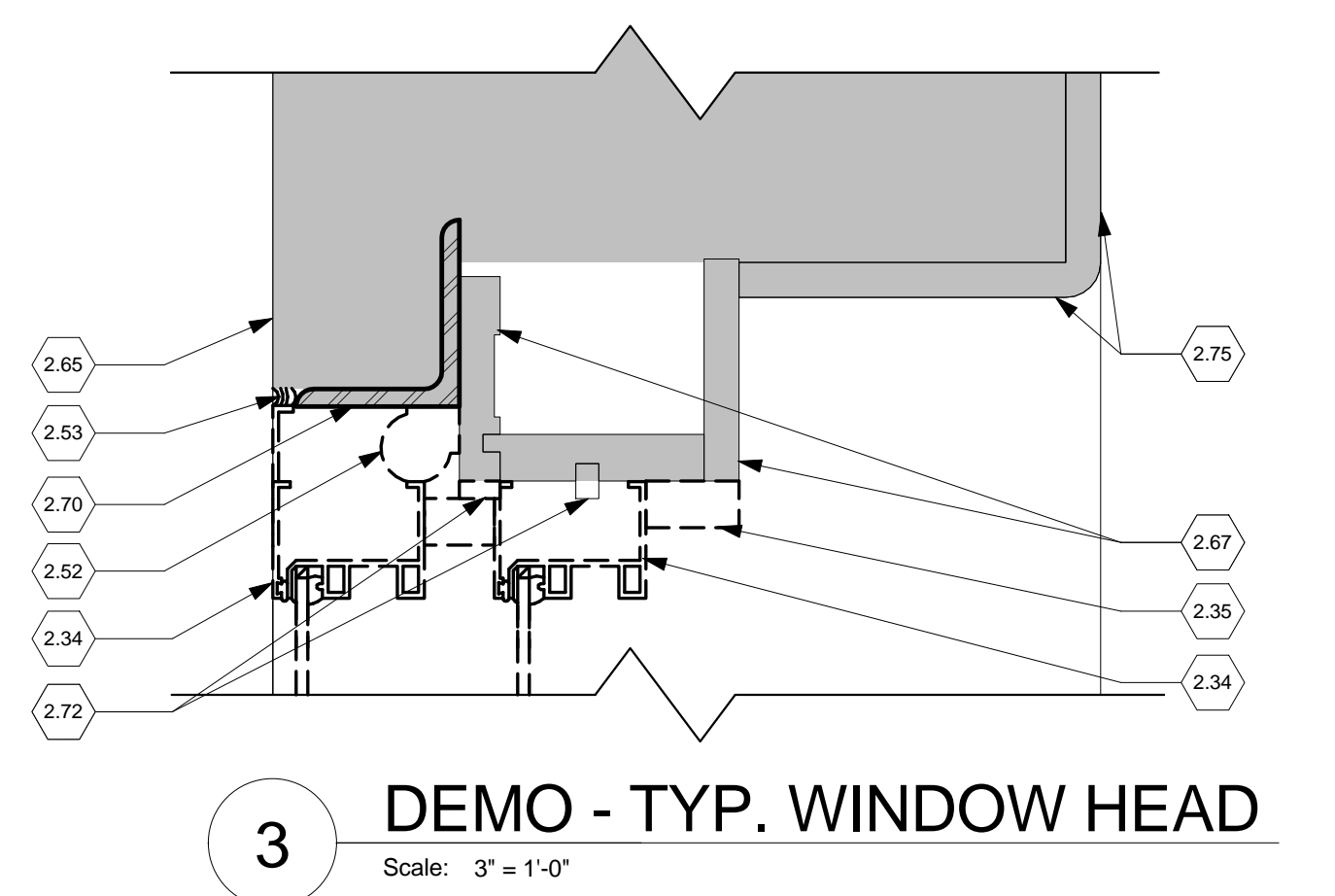
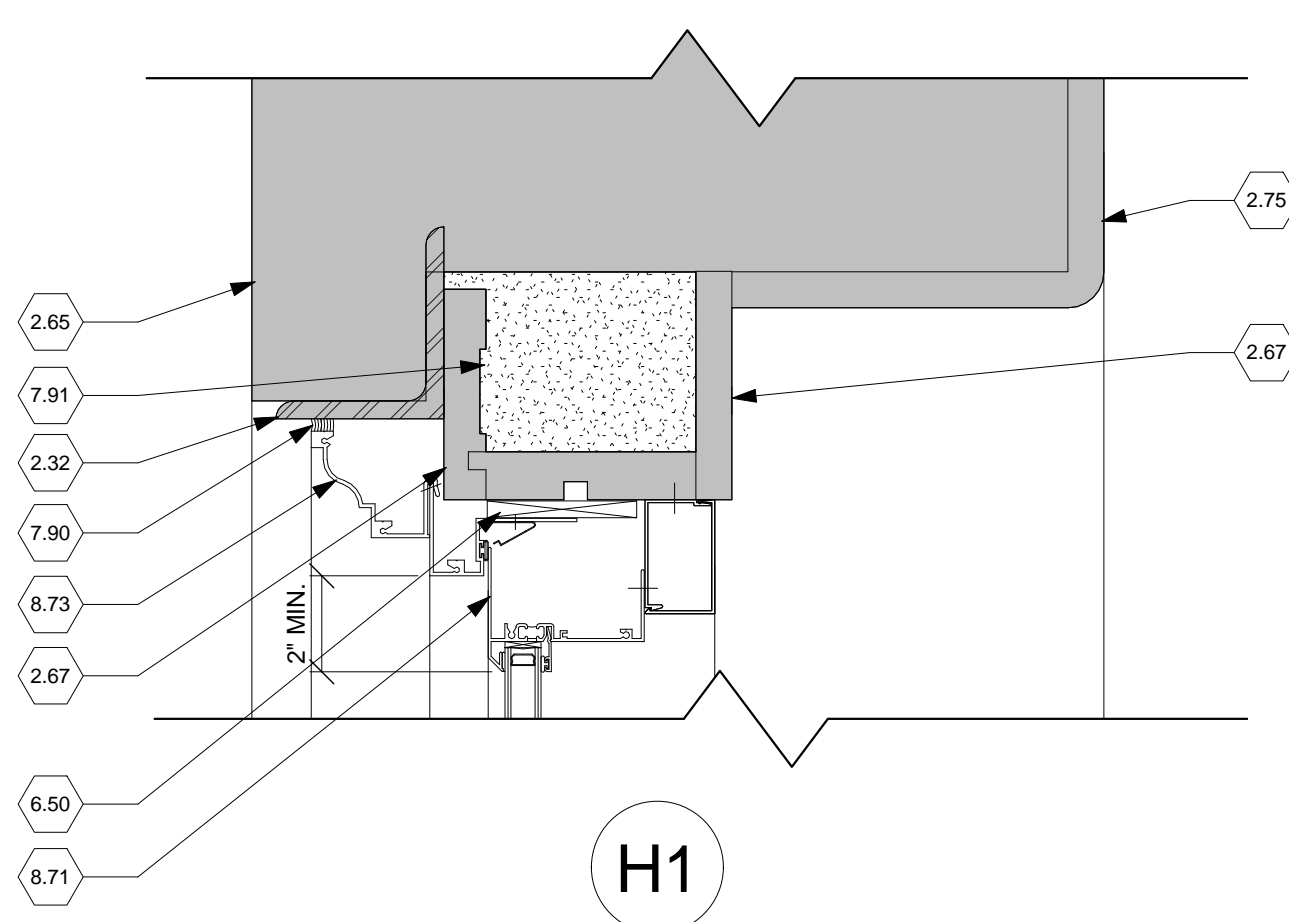
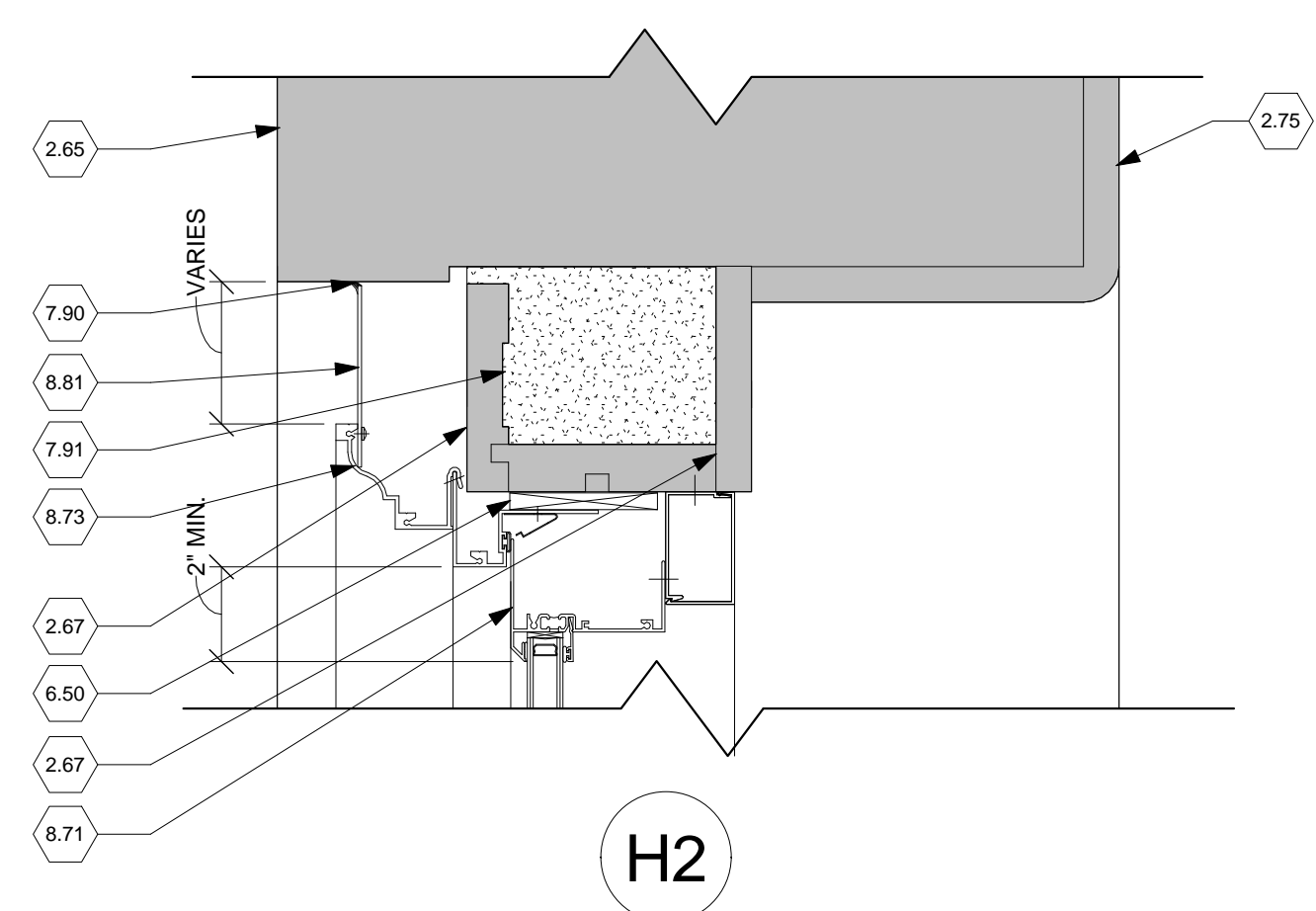
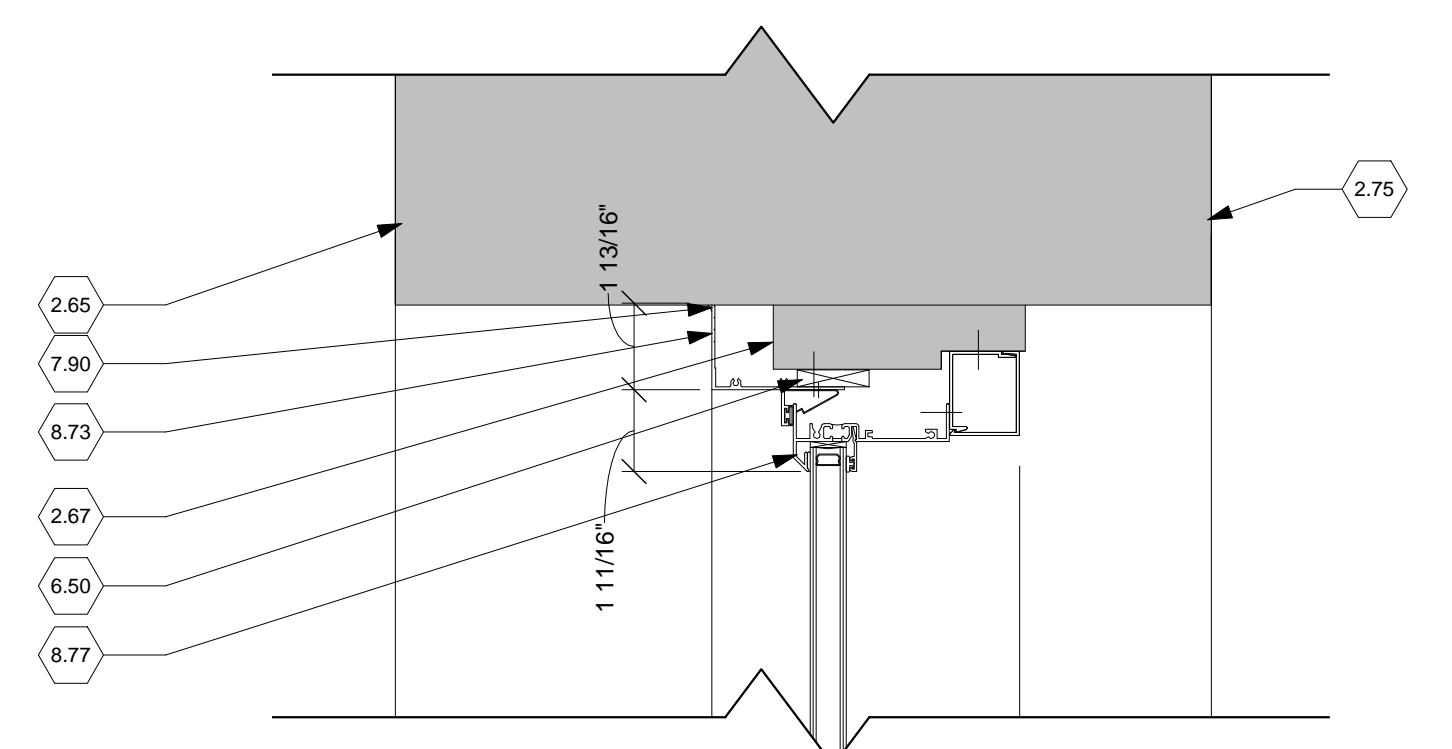
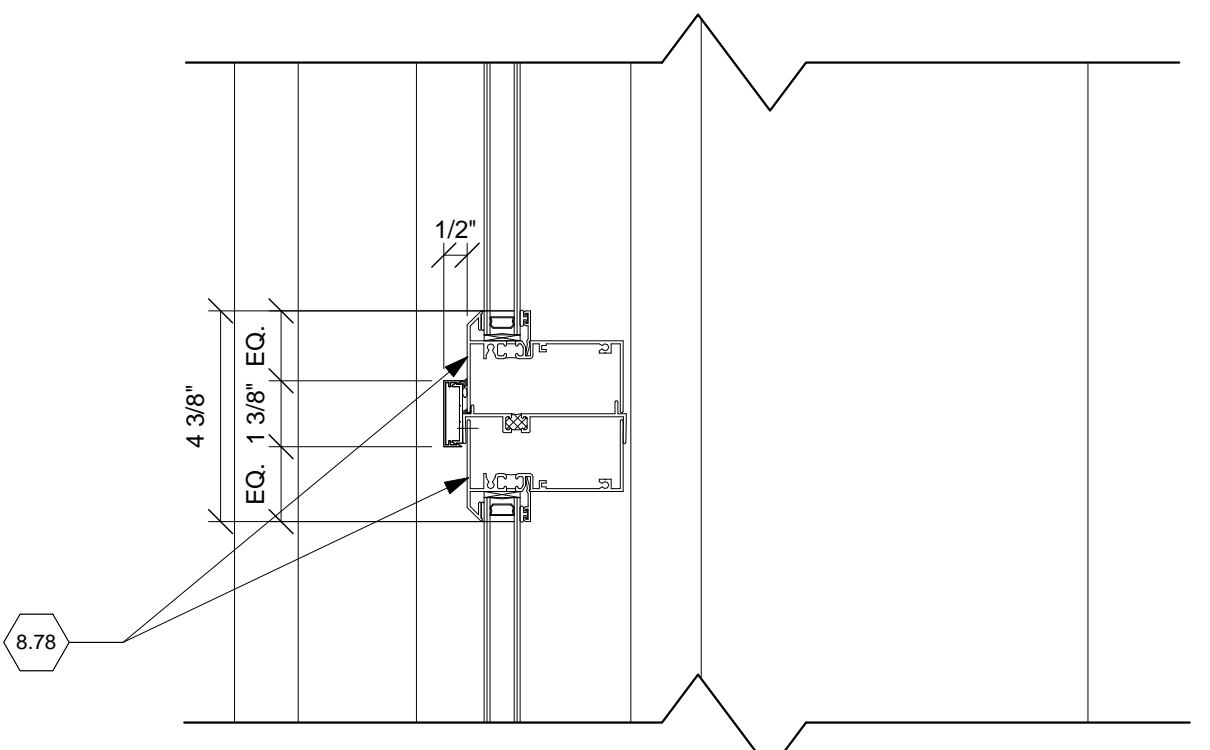
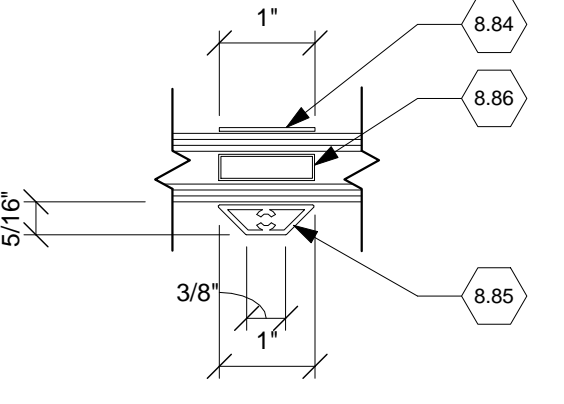
## WINDOW TYPES

Scale: 1/2" = 1'-0"

[illegible]



three inches = one foot  
one and one-half inches = one foot  
one inch = one foot  
three-quarters inch = one foot  
one-half inch = one foot  
three-eighths inch = one foot  
one-quarter inch = one foot  
one-eighth inch = one foot



- GENERAL NOTES**
- A. Field verify all existing dimensions and conditions.
- DETAIL NOTES**
- 2.30 Existing stone sill to remain, protect in place.
  - 2.31 Existing wood stool and apron to remain.
  - 2.32 Clean, prep., and paint original steel lintels to appear like new. Work to occur before existing window is removed.
  - 2.34 Remove existing inner and outer aluminum window sashes, frames, panning, and accessories.
  - 2.35 Remove existing aluminum window trim.
  - 2.36 Remove existing wood frame.
  - 2.52 Carefully remove existing brick molding. Prepare area for new construction.
  - 2.53 Remove existing sealant around window. Work to occur before existing window unit is removed.
  - 2.65 Original exterior masonry wall construction.
  - 2.66 Existing exterior wood sill to remain.
  - 2.67 Original wood frame to remain. Repaint exposed portion of wood frame (P-1).
  - 2.70 Existing steel lintel to remain, protect in place.
  - 2.71 Carefully remove wood frame for transom. Prepare area for new construction.
  - 2.72 Carefully remove wood stop from frame and provide a smooth and level surface for new construction.
  - 2.73 Remove existing wood sash, prepare area for new construction.
  - 2.74 Carefully remove metal panel from existing wood frame. Prepare area for new construction.
  - 2.75 If finish is damaged during window replacement, repaint entire wall.
  - 6.50 Provide pressure treated wood blocking as required.
  - 7.90 Provide continuous bead of sealant around window.
  - 7.91 Fill existing sash framing with spray foam insulation.
  - 8.70 Aluminum sill - finish to match window.
  - 8.71 New single hung aluminum window.
  - 8.73 Window Manufacturer panning profile.
  - 8.76 Window Manufacturer meeting rail.
  - 8.77 Single fixed window unit.
  - 8.78 Window Manufacturer horizontal stacked mull assembly.
  - 8.79 Single hung window unit.
  - 8.81 Window Manufacturer scribed flat stock.
  - 8.82 Window Manufacturer mullion cover.
  - 8.83 Window Manufacturer screen.
  - 8.84 Interior flatstock muntin.
  - 8.85 Exterior applied extruded muntin.
  - 8.86 1 inch spacer.

Revisions	Date	CONSULTANTS:	ARCHITECT/ENGINEERS:  JOHN POE ARCHITECTS  116 EAST THIRD STREET DAYTON, OHIO 45402-2130  937 461 3290 PHONE 937 461 0260 FAX jpa@johnpoe.com	Drawing Title  WINDOW DETAILS  Approved: Project Director	Project Title  Replace Roof and Windows (B401)  Location  Dayton, Ohio  Date  3/11/2014	Project No. VA Project No. 552-15-208 JPA Project No. 13005.00 Building Number 401 Drawing Number 401A602 Dwg. of	Office of Construction and Facilities Management  Department of Veterans Affairs